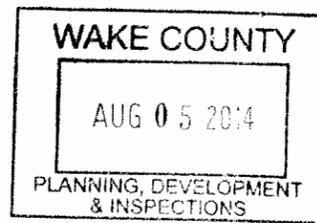




Planning, Development & Inspections



S-007-14

TEL (PLANNING) 919 856 6310
TEL (INSPECTIONS) 919 856 6222

A Division of Community Services
P.O. Box 550 • Raleigh, NC 27602
www.wakegov.com

PRELIMINARY SUBDIVISION PLAN APPROVAL APPLICATION

Name of Subdivision The Reserve at Falls Lake

(X) cluster subdivision () lot-by-lot subdivision () open space
Has a preliminary plan previously been approved for subdivision of this site? () Yes (X) No
If yes, when and under what name? _____

Property
Parcel Identification Number: 0891837533, 0891915823, 0891918872, 0891922043
Address: 4225 DURHAM RD
Location: South side of HWY 98, at/between
Six Forks Road and Creedmoor Road
(north, east, south, west) (street) (street)
Total site area in square feet and acres: 5,117,429 square feet 117.48 acres
Zoning District(s) and Overlay Districts (if any) and land area within each:
R-40W - 26.7 acres & R-80W - 90.8 acres
Conditions of any Conditional Use Zoning Districts:
N/A

Present land use(s): Residential and Vacant

Property Owner (Contact information is needed for reviews to proceed- Please provide fax or email)
Name: Evans Road Developers, LLC - Andrew Sandman
Address: 7101 Creedmoor Road, Suite 122
City: Raleigh State: NC Zip Code: 27613
E-mail Address: asandlaw@bellsouth.net FAX: 919-845-6639
Telephone Number: 919-845-6688

Consultant (i.e. surveyor or engineer; person to whom all correspondence will be sent)
Name: Jones & Clossen Engineering, PLLC - Stuart Jones
Address: PO Box 1062
City: Apex State: NC Zip Code: 27502
E-mail Address: stuart@jonesclossen.com FAX: 919-387-3375
Telephone Number: 919-387-1174 Relationship to Owner: Engineer

Proposal
Max. allowable lot density standard* (see Article 5, Unified Development Ordinance, and the Wake County Land Use Plan): R-80W Cluster
Max. # of lots allowable*: 72 Proposed # of lots*: 72
Min. allowable lot area*: 40,000 sf Proposed min. lot area*: 40,000 sf
Average lot area*: 44,440 sf
Min. allowable lot width*: 110 ft Proposed min. lot width*: 110 ft

* If applicable, show for each zoning district

Min. open space standard (see Sec. 3.4.3(E)(1)): () 10 % (X) 25 % () 30% () 40% of site area
 Min. open space area: 29.32 acres
 Proposed open space area [by parcel]: 30.90 acres
 Proposed open space use(s) [by parcel]: Natural areas, Park
 Proposed future development site area [by site]: N/A acres
 Proposed impervious surfaces area: 766,242 sf
 Proposed impervious surface coverage (impervious surfaces area/site area x 100): 15 %
 Site area w/in area of special flood hazard (see Article 14, Unified Development Ordinance): 0 acres
 within floodway: 0 acres

Vehicular Access

Names of access street(s) and number of access points along each:

Name of access or adjacent street	Right-of-way width (ft)	Pavement width (ft)	No. of lanes	Paved? (Y or N)	Roadway design capacity	Traffic volume (ADT) ²	Est. traffic generated (ADT) ³
HWY 98	120	30	2	Y	16,000		720

¹ See NCDOT Highway Capacity Manual or Wake County Thoroughfare Plan Appendix

² See CAMPO web site (www.raleigh-nc.org/campo) or contact NCDOT Traffic Survey Unit

³ Base on Institute of Transportation Engineers ratios - ratio used for estimate (e.g., x trips per y sf) 720

Estimated traffic generated by heavy vehicles (vehicles other than automobiles and light trucks):

Type of vehicle: N/A ADT: _____
 Type of vehicle: _____ ADT: _____

Utilities and Services

Water supply provided by: () municipal system (_____)
 (X) community system (Aqua NC - Bayleaf) () individual well(s)

Estimated total water demand: 21,600 gpd

Wastewater collection/treatment provided by: () municipal system (_____)
 () community system - specify type(_____) (X) individual on-site system

Estimated total wastewater discharge: _____ gpd

Electrical service provided by: Duke Energy Underground (x) yes () no

Natural gas service provided by: PSNC Underground (x) yes () no

Telephone service provided by: Verizon Underground (x) yes () no

Cable television service provided by: Verizon Underground (x) yes () no

Fire protection provided by: Volunteer - community

Miscellaneous

Generalized slope of site: Rolling to steep

Valuable natural features (rare plant community, wildlife habitat, lake, stream, geology, etc.) on or adjoining site: Intermittent streams

Valuable historic resources (homestead, mill, archeological site) on or adjoining site: None

Land Use Plan Classifications

General Classification (note associated municipality and/or watershed):

() Short-Range Urban Services Area/Water Supply Watershed _____

() Short-Range Urban Services Area _____

() Long-Range Urban Services Area/Water Supply Watershed _____

() Long-Range Urban Services Area _____

(X) Non-Urban Area/Water Supply Watershed Falls Lake

() Non-Urban Area _____

Land Use Classification(s) (Note Area Land Use Plan, if applicable):
Residential - Less than 1 unit per acre

Other information (additional relevant information about the site or proposal you wish to note or cite)

All property owners must sign this application unless one or more individuals are specifically authorized to act as an agent on behalf of the collective interest of some or all of the owners (provide a copy of such authorization).

The undersigned property owner(s) hereby authorize the filing of this application (and any subsequent revisions thereto). The filing of this application authorizes the Wake County staff to enter upon the site to conduct relevant site inspections as deemed necessary to process the application.

* Signature: William R. Bailey Date: 7-8-14

* Signature: Dorely W. Bailey Date: 7-8-14

Signature: _____ Date: _____

The undersigned applicant hereby certifies that, to the best of his or her knowledge and belief, all information supplied with this application is true and accurate.

Signature: [Signature] Date: 8/2/14

Notes: All documents and maps submitted as required become the property of Wake County.
The Wake County Unified Development Ordinance is on the web at <http://www.wakegov.com/>
All application fees are non-refundable.

Land Use Plan Classifications

General Classification (note associated municipality and/or watershed):

() Short-Range Urban Services Area/Water Supply Watershed _____

() Short-Range Urban Services Area _____

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Signature: _____ Date: _____

Signature: [Signature] Date: 7-8-2014

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Signature: Carol B. Pearce Date: 7/10/14

Signature: Gene C. Pearce Date: 7/10/14

Signature: _____ Date: _____

The undersigned applicant hereby certifies that, to the best of his or her knowledge and belief, all information supplied with this application is true and accurate.

Signature: Ant H. [Signature] Date: 8/2/14

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Signature: _____ Date: _____

Signature: *Robert A. Nelson* Date: 7-3-14

Signature: *Bill R. Nelson* Date: 7-3-14

The undersigned applicant hereby certifies that, to the best of his or her knowledge and belief, all information supplied with this application is true and accurate.

Signature: *Scott M. Lynn* Date: 8/2/14

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Signature: Thomas R. Youstle Date: 6/30/14

Signature: _____ Date: _____

Signature: _____ Date: _____

The undersigned applicant hereby certifies that, to the best of his or her knowledge and belief, all information supplied with this application is true and accurate.

Signature: Kent M. Gunn Date: 8/2/14

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Land Use Plan Classifications

General Classification (note associated municipality and/or watershed):

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Signature: Cynthia N. Kull Date: 6/30/14

Signature: Thomas S. Harrison Date: 7-2-14

Signature: Barbara R. Harrison Date: 7-2-14

The undersigned applicant hereby certifies that, to the best of his or her knowledge and belief, all information supplied with this application is true and accurate.

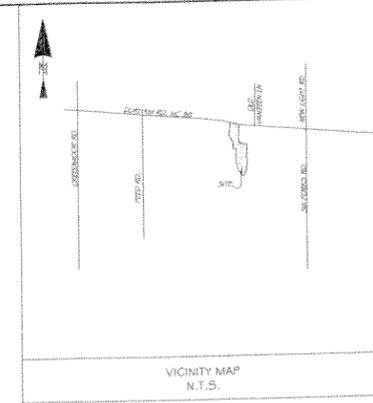
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* →

THE RESERVE AT FALLS LAKE

PRELIMINARY SUBDIVISION PLAN

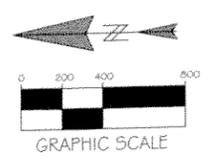


SITE DATA	
PROJECT NAME	THE RESERVE AT FALLS LAKE
PROJECT ADDRESS	4225 DURHAM RD.
PREPARED BY	JONES & CROSSEN ENGINEERING, PLLC
PREPARED FOR	P.O. BOX 1062 APEX, NORTH CAROLINA 27502 PHONE - (919) 387-1174 FAX - (919) 387-3375
OWNER / DEVELOPER CONTACT INFORMATION	CONTACT PERSON - STUART M. JONES EVANS ROAD DEVELOPERS, LLC 7101 CREEKDAOR ROAD, SUITE 122 RALEIGH, NC 27613 PHONE - (919) 845-6688 FAX - (919) 845-6639 CONTACT PERSON - ANDREW SANDMAN
CURRENT PROPERTY ZONING	R-80W & R-40W
WAKE COUNTY PINS	0891: 63-7533, 91-5823, 91-8872, 92-2043
CLASSIFICATION OF SUBDIVISION	CLUSTER DEVELOPMENT
TOTAL PROJECT AREA	117.48 ACRES
AREA DEDICATED TO HIGHWAY 98 RAW	0.21 ACRES
NET SUBDIVISION AREA	117.27 ACRES
AREA OF R-40W ZONING	26.7 ACRES
ALLOWABLE R-40W RESIDENTIAL LOTS	26.7 LOTS (1 LOT/AC)
AREA OF R-80W ZONING	90.8 ACRES
ALLOWABLE R-80W RESIDENTIAL LOTS	45.4 LOTS (0.5 LOT/AC)
TOTAL ALLOWABLE RESIDENTIAL LOTS	72.1
PROPOSED RESIDENTIAL DENSITY	0.61 UNITS PER ACRE
TOTAL OPEN SPACE AREA REQUIRED	29.32 AC (25%)
TOTAL OPEN SPACE AREA PROVIDED	32.16 AC (27.4%)
IMPERVIOUS SURFACE AREA	15% - 17.59 AC (766,242 SF)
MINIMUM LOT SIZE	40,000 SF (110' MIN. WIDTH)
AVERAGE LOT SIZE	44,820 SF
PROPOSED LINEAR FOOTAGE OF STREET	9,020 LF

SHEET INDEX	
1	COVER SHEET
2	OVERALL PLAN
3	PRELIMINARY LOT LAYOUT PHASE 1
4	PRELIMINARY LOT LAYOUT PHASES 2 & 3
5	EXISTING CONDITIONS PLAN PHASE 1
6	EXISTING CONDITIONS PLAN PHASES 2 & 3
7	UTILITY & STORM DRAINAGE PLAN PHASE 1
8	UTILITY & STORM DRAINAGE PHASES 2 & 3

MINIMUM BUILDING SETBACKS	
FRONT/CORNER	20'
REAR	15'
SIDE	10'
PERIMETER SETBACK	30'
FROM DRAINAGEWAY BUFFER	20'

PRELIMINARY PLANS
NOT FOR CONSTRUCTION





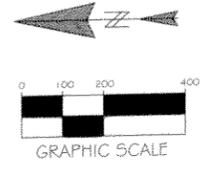
THE RESERVE AT FALLS LAKE
PRELIMINARY SUBDIVISION PLAN
OVERALL LAYOUT PLAN

SCALE	1" = 200'	DATE	AUGUST 1, 2014
PROJECT	1362	REVISION	
DATE		BY	
SCALE	5MJ	PROJECT	2



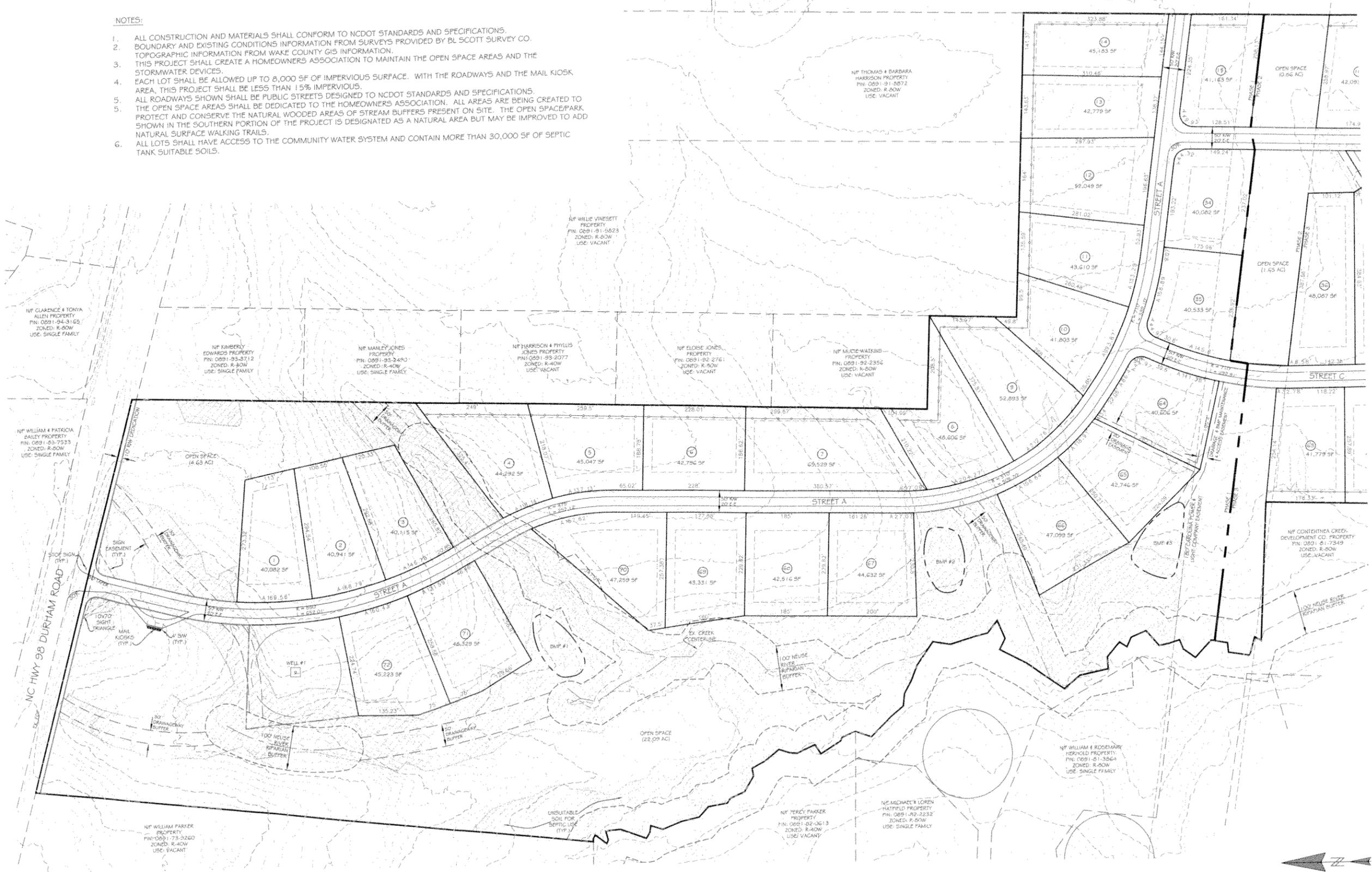
PHASE INFO		
PHASE	# LOTS	OPEN SPACE
1	26	25.62 AC
2	16	4.15 AC
3	26	2.39 AC

PRELIMINARY PLANS
NOT FOR CONSTRUCTION

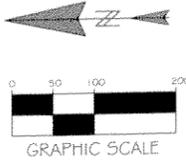


NOTES:

1. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO NCDOT STANDARDS AND SPECIFICATIONS.
2. BOUNDARY AND EXISTING CONDITIONS INFORMATION FROM SURVEYS PROVIDED BY BL SCOTT SURVEY CO.
3. TOPOGRAPHIC INFORMATION FROM WAKE COUNTY GIS INFORMATION.
4. THIS PROJECT SHALL CREATE A HOMEOWNERS ASSOCIATION TO MAINTAIN THE OPEN SPACE AREAS AND THE STORMWATER DEVICES.
5. EACH LOT SHALL BE ALLOWED UP TO 8,000 SF OF IMPERVIOUS SURFACE. WITH THE ROADWAYS AND THE MAIL KIOSK AREA, THIS PROJECT SHALL BE LESS THAN 15% IMPERVIOUS.
6. ALL ROADWAYS SHOWN SHALL BE PUBLIC STREETS DESIGNED TO NCDOT STANDARDS AND SPECIFICATIONS.
7. THE OPEN SPACE AREAS SHALL BE DEDICATED TO THE HOMEOWNERS ASSOCIATION. ALL AREAS ARE BEING CREATED TO PROTECT AND CONSERVE THE NATURAL WOODED AREAS OF STREAM BUFFERS PRESENT ON SITE. THE OPEN SPACE/PARK SHOWN IN THE SOUTHERN PORTION OF THE PROJECT IS DESIGNATED AS A NATURAL AREA BUT MAY BE IMPROVED TO ADD NATURAL SURFACE WALKING TRAILS.
8. ALL LOTS SHALL HAVE ACCESS TO THE COMMUNITY WATER SYSTEM AND CONTAIN MORE THAN 30,000 SF OF SEPTIC TANK SUITABLE SOILS.



PRELIMINARY PLANS
NOT FOR CONSTRUCTION



Jones & Clossen
ENGINEERING, PLLC

Civil Engineering | Construction Management | Land Planning

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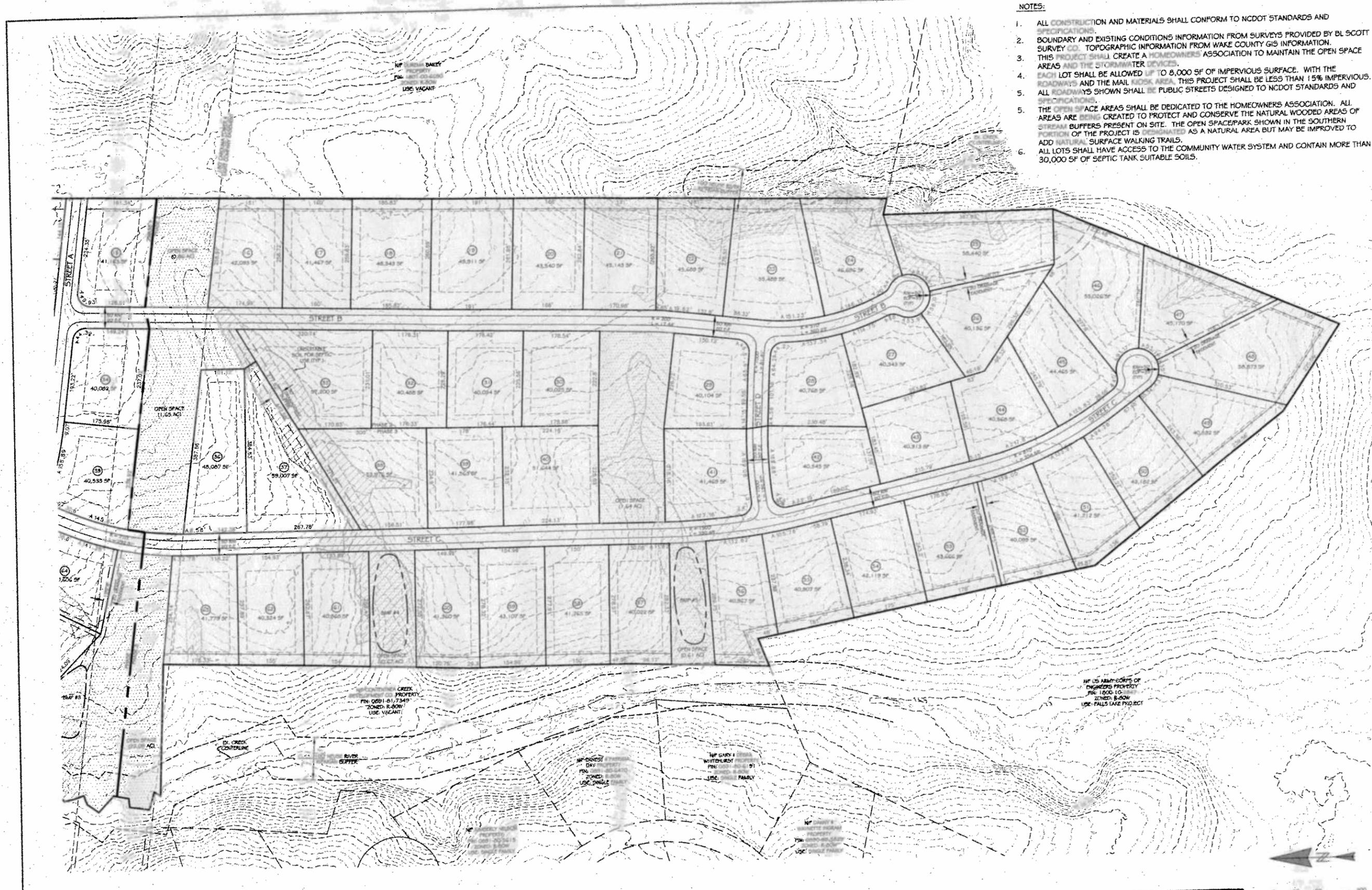


THE RESERVE AT FALLS LAKE
PRELIMINARY SUBDIVISION PLAN
NORTH CAROLINA
WAKE COUNTY
PRELIMINARY LOT LAYOUT PHASE I

SCALE	1" = 100'	DATE	AUGUST 1, 2014
PROJECT		SHEET	3
		TOTAL SHEETS	1362

NOTES:

1. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO NCDOT STANDARDS AND SPECIFICATIONS.
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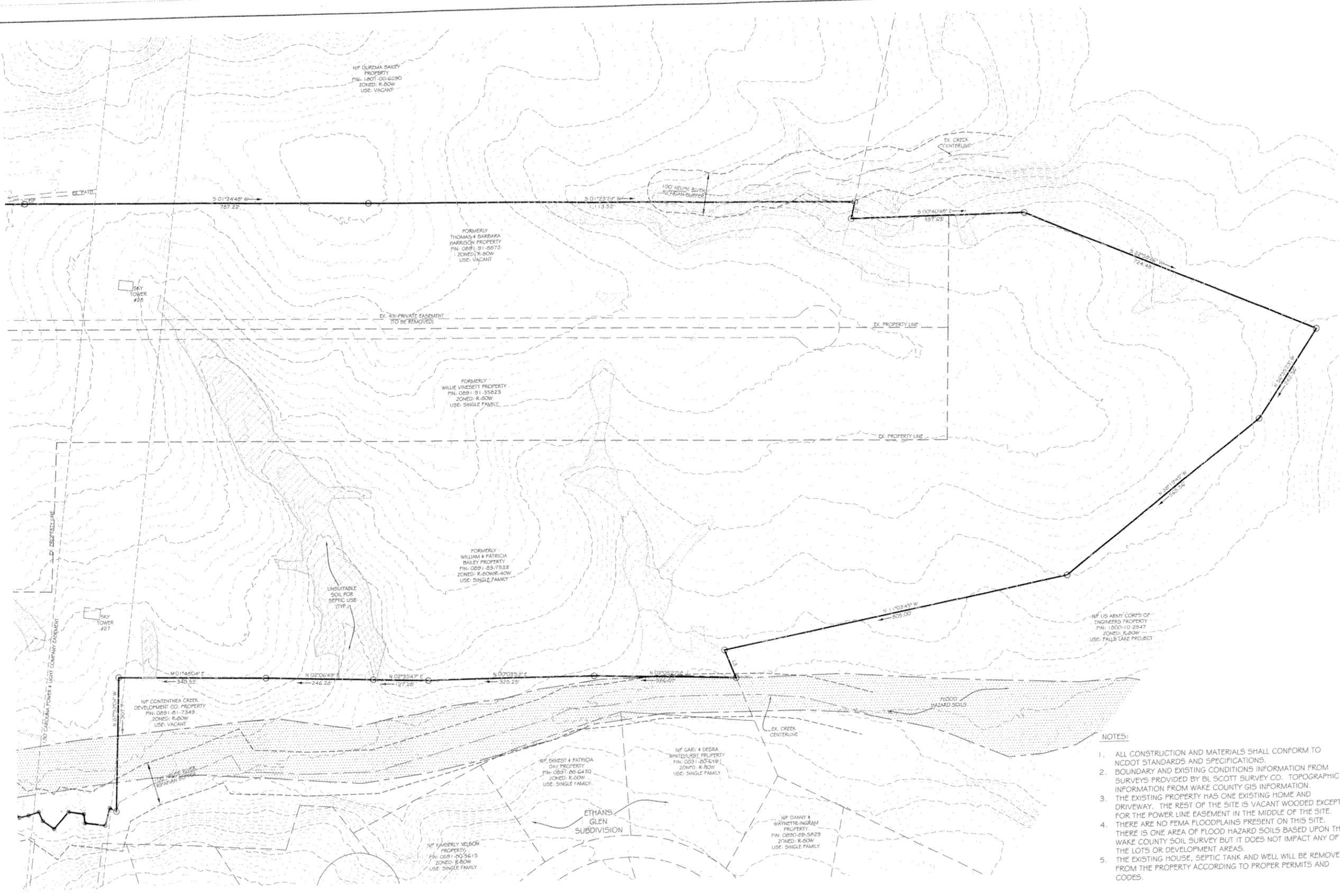


THE RESERVE AT FALLS LAKE
PRELIMINARY SUBDIVISION PLAN
PRELIMINARY LOT LAYOUT PHASES 2 & 3

1" = 100'	SM
AUGUST 1, 2014	
4	
1362	

**PRELIMINARY PLANS
NOT FOR CONSTRUCTION**





LINE DATA

NUMBER	BEARING	DIST.
L-2	N 77°09'21" W	40.02'
L-3	S 67°58'59" W	69.11'

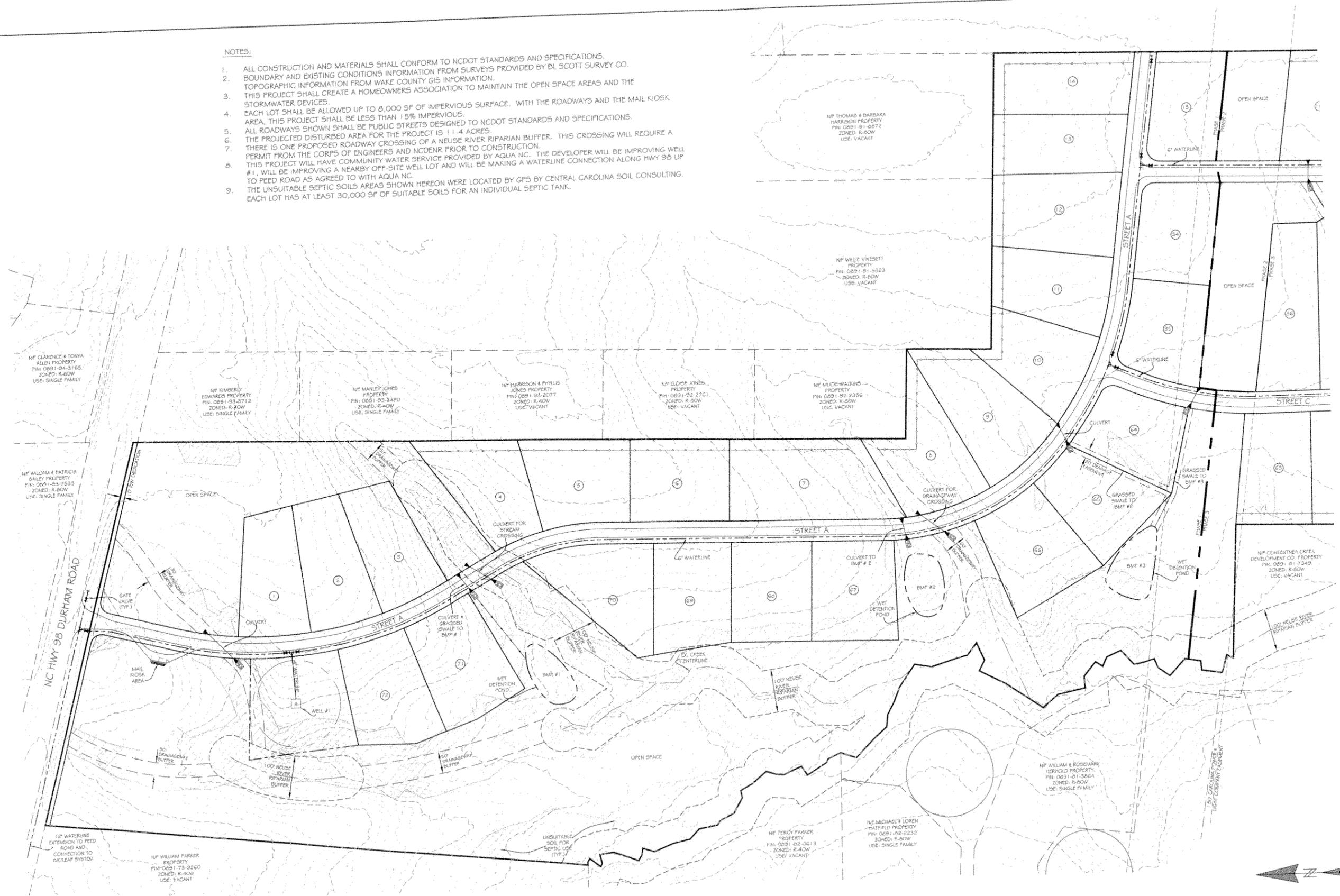
**PRELIMINARY PLANS
NOT FOR CONSTRUCTION**



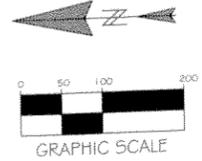
- NOTES:
1. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO NCDOT STANDARDS AND SPECIFICATIONS.
 2. BOUNDARY AND EXISTING CONDITIONS INFORMATION FROM SURVEYS PROVIDED BY BL SCOTT SURVEY CO. TOPOGRAPHIC INFORMATION FROM WAKE COUNTY GIS INFORMATION.
 3. THE EXISTING PROPERTY HAS ONE EXISTING HOME AND DRIVEWAY. THE REST OF THE SITE IS VACANT WOODED EXCEPT FOR THE POWER LINE EASEMENT IN THE MIDDLE OF THE SITE.
 4. THERE ARE NO FEMA FLOODPLAINS PRESENT ON THIS SITE. THERE IS ONE AREA OF FLOOD HAZARD SOILS BASED UPON THE WAKE COUNTY SOIL SURVEY BUT IT DOES NOT IMPACT ANY OF THE LOTS OR DEVELOPMENT AREAS.
 5. THE EXISTING HOUSE, SEPTIC TANK AND WELL WILL BE REMOVED FROM THE PROPERTY ACCORDING TO PROPER PERMITS AND CODES.

NOTES:

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5. ALL ROADWAYS SHOWN SHALL BE PUBLIC STREETS DESIGNED TO NCDOT STANDARDS AND SPECIFICATIONS.
6. THE PROJECTED DISTURBED AREA FOR THE PROJECT IS 11.4 ACRES.
7. THERE IS ONE PROPOSED ROADWAY CROSSING OF A NEUSE RIVER RIPARIAN BUFFER. THIS CROSSING WILL REQUIRE A PERMIT FROM THE CORPS OF ENGINEERS AND NCDENR PRIOR TO CONSTRUCTION.
8. THIS PROJECT WILL HAVE COMMUNITY WATER SERVICE PROVIDED BY AQUA NC. THE DEVELOPER WILL BE IMPROVING WELL #1. WILL BE IMPROVING A NEARBY OFF-SITE WELL LOT AND WILL BE MAKING A WATERLINE CONNECTION ALONG HWY 98 UP TO FEED ROAD AS AGREED TO WITH AQUA NC.
9. THE UNSUITABLE SEPTIC SOILS AREAS SHOWN HEREON WERE LOCATED BY GPS BY CENTRAL CAROLINA SOIL CONSULTING. EACH LOT HAS AT LEAST 30,000 SF OF SUITABLE SOILS FOR AN INDIVIDUAL SEPTIC TANK.



PRELIMINARY PLANS
NOT FOR CONSTRUCTION



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THE RESERVE AT FALLS LAKE
PRELIMINARY SUBDIVISION PLAN
UTILITY & STORM DRAINAGE PLAN PHASE I

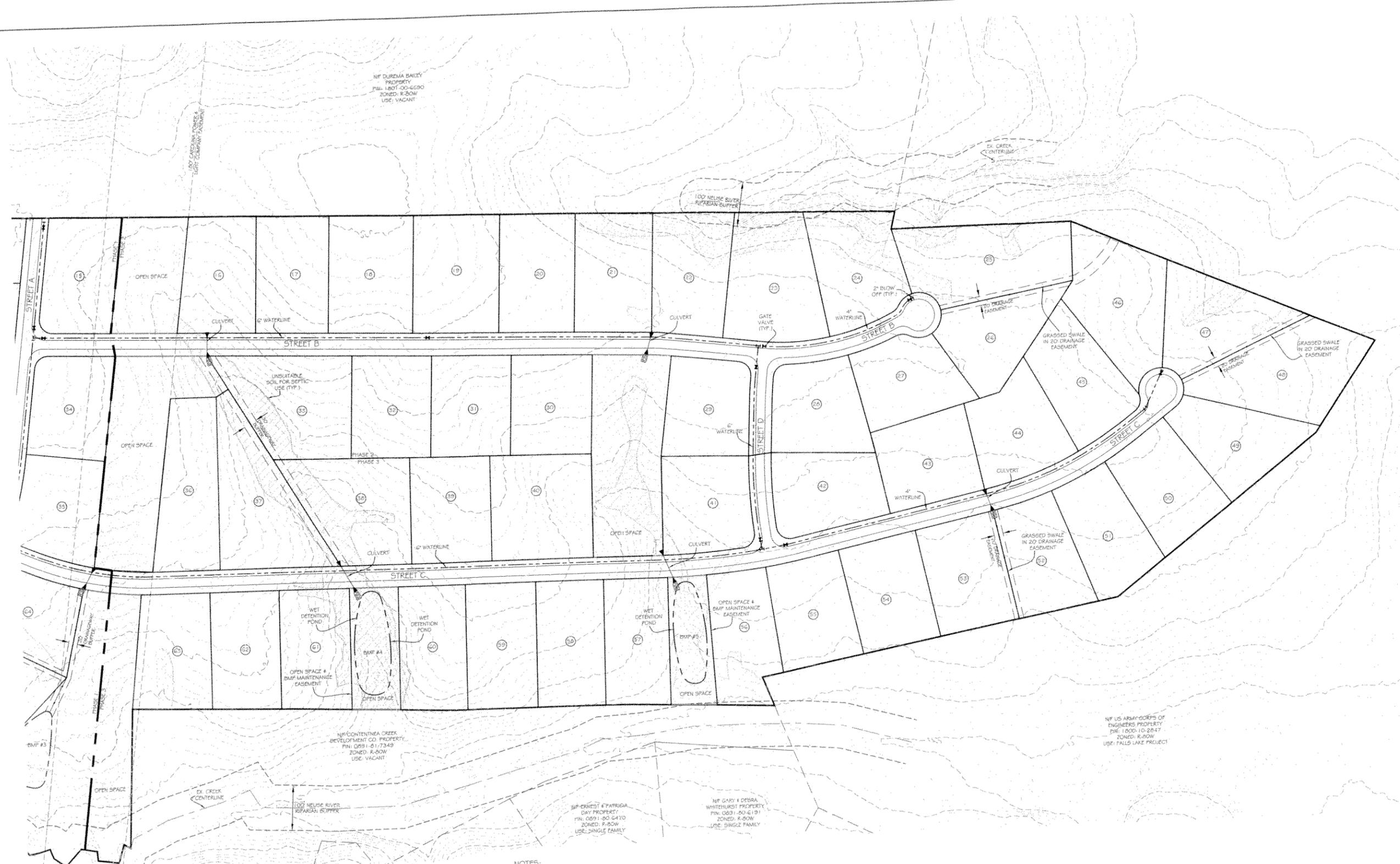
SCALE	1" = 100'	5MU
DATE	AUGUST 1, 2014	
REVISION		
NO.	7	
DATE		
NO.	1362	



THE RESERVE AT FALLS LAKE
PRELIMINARY SUBDIVISION PLAN
NORTH CAROLINA

UTILITY & STORM DRAINAGE PLAN PHASES 2 & 3

SCALE	1" = 100'	SMU
DATE	AUGUST 1, 2014	
PROJECT		
NO.	8	
TOTAL	1362	



- NOTES:**
1. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO NCDOT STANDARDS AND SPECIFICATIONS.
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PRELIMINARY PLANS
NOT FOR CONSTRUCTION

