

S-006-14



Planning, Development & Inspections

TEL (PLANNING) 919 856 6310
TEL (INSPECTIONS) 919 856 6222

A Division of Community Services
P.O. Box 550 • Raleigh, NC 27602
www.wakegov.com

PRELIMINARY SUBDIVISION PLAN APPROVAL APPLICATION

Name of Subdivision Falls Ridge Subdivision

() cluster subdivision (X) lot-by-lot subdivision () open space
Has a preliminary plan previously been approved for subdivision of this site? () Yes (X) No
If yes, when and under what name?

Property

Parcel Identification Number: 1821-04-52-1783

Address: -0- Camp Kanata Road

Location: east side of Camp Kanata Road, at/between
1500 LF north of and N.C. Hwy. # 98

Total site area in square feet and acres: 675,180 square feet 15.5 (imaps) acres
Zoning District(s) and Overlay Districts (if any) and land area within each: R-80W

Conditions of any Conditional Use Zoning Districts: N/A

Present land use(s): Forest

Property Owner (Contact information is needed for reviews to proceed- Please provide fax or email)
Name: The Bank of Hampton Roads

Address: 112 Corporate Drive

City: Elizabeth City State: N.C. Zip Code: 27909-7027

E-mail Address: N/A

Telephone Number: (757) 513-3545 FAX:

Consultant (i.e. surveyor or engineer; person to whom all correspondence will be sent)
Name: John W. Harris, P.E. Consulting Engineer, Inc.

Address: 5112 Bur Oak Circle

City: Raleigh State: N.C. Zip Code: 27612

E-mail Address: coachjwh@aol.com

Telephone Number: 919-789-0744 Relationship to Owner: Consultant

Proposal

Max. allowable lot density standard* (see Article 5, Unified Development Ordinance, and the Wake County Land Use Plan): 1/0.5 ac.

Max. # of lots allowable*: 7 Proposed # of lots*: 7

Min. allowable lot area*: 80,000 sf Proposed min. lot area*: 80,000 sf

Average lot area*: 88,813 sf

Min. allowable lot width*: 150 ft Proposed min. lot width*: 150 ft

* If applicable, show for each zoning district

Land Use Plan Classifications

General Classification (note associated municipality and/or watershed):

() Short-Range Urban Services Area/Water Supply Watershed _____

() Short-Range Urban Services Area _____

() Long-Range Urban Services Area/Water Supply Watershed _____

() Long-Range Urban Services Area _____

() Non-Urban Area/Water Supply Watershed _____

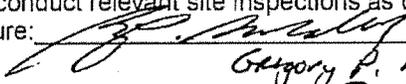
() Non-Urban Area _____

Land Use Classification(s) (Note Area Land Use Plan, if applicable):

Other information (additional relevant information about the site or proposal you wish to note or cite)

All property owners must sign this application unless one or more individuals are specifically authorized to act as an agent on behalf of the collective interest of some or all of the owners (provide a copy of such authorization).

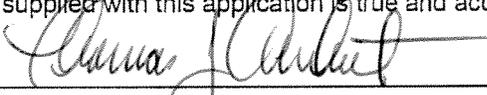
The undersigned property owner(s) hereby authorize the filing of this application (and any subsequent revisions thereto). The filing of this application authorizes the Wake County staff to enter upon the site to conduct relevant site inspections as deemed necessary to process the application.

Signature:  Date: 7/30/2014

Signature: Gregory P. Marshall
Bank of Hampton Roads Date: _____

Signature: _____ Date: _____

The undersigned applicant hereby certifies that, to the best of his or her knowledge and belief, all information supplied with this application is true and accurate.

Signature:  Date: 7/30/14

Notes: All documents and maps submitted as required become the property of Wake County.
The Wake County Unified Development Ordinance is on the web at <http://www.wakegov.com/>
All application fees are non-refundable.

Land Use Plan Classifications

General Classification (note associated municipality and/or watershed):

() Short-Range Urban Services Area/Water Supply Watershed _____

() Short-Range Urban Services Area _____

() Long-Range Urban Services Area/Water Supply Watershed _____

() Long-Range Urban Services Area _____

() Non-Urban Area/Water Supply Watershed _____

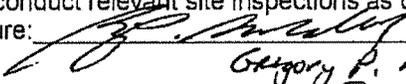
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Other information (additional relevant information about the site or proposal you wish to note or cite)

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Bank of Hampton Roads Date: _____

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Environmental Services

TEL 919 856 7400
FAX 919 856 5855

Floodplain & Stormwater Management
336 Fayetteville St. • P.O. Box 550 • Raleigh, NC 27602

WAKE COUNTY STORMWATER CHECKLIST

Under the municipality ordinance, most development is required to obtain a stormwater permit. A stormwater management plan is designed to protect downstream water resources and property owners from water pollution, flooding and other damage caused by urban runoff after a development is complete. This checklist shows what information needs to be provided and what issues need to be addressed when preparing a stormwater management plan. All items listed may not be applicable to each site, nor is the list all-inclusive. It is meant to serve as a guide for the stormwater planner.

_____ **Stormwater Plan Review Fee**
_____ **Stormwater Permit Fee**

Master/Preliminary Plan Submittal.

Delineate and Label On Map (1"=equals no more than 100') & Drawings

X	North arrow, graphic scale, drafting version/date and designation of source documents for all map features
X	Existing and proposed watershed, sub-watershed, and land use boundaries. <i>(contributing watersheds that extend beyond the site boundaries may be delineated on a separate map.)</i>
X	Delineate any required Riparian Buffers and/or provide documentation of buffer reductions Note – Neuse buffers are required County-wide; Jordan Lake buffers effective August 2011
X	Delineation of all proposed impervious surfaces, roads, well lots, recreation sites, including single family residences.
X	Clearly delineate flood hazard boundaries, including FEMA series J maps and flood hazard soils. Differentiate between floodplain and open space. Indicate lots which will require flood permits.
X	Delineate all flood hazard soils and/or provide documentation of soils redelineations.
X	Stormwater Hybrid Design Tool Worksheets: Site Data Sheet, DA sheets, Site Summary, and BMP sheets (2 copies)
X	Proposed stormwater discharge points <i>(where water leaves site by surface or subsurface flows).</i>
X	Proposed drainage easements and widths <i>(in Feet).</i>
X	Type, size location and cross-section of all proposed stormwater management conveyance systems <i>(grass swale, lined channel, storm culvert, etc.).</i>
X	Location and type of all proposed stormwater management structures <i>(wet/dry detention basin, filtering/infiltration basin, bioretention, etc.).</i>
X	Proposed easement access lanes and sediment disposal areas for future maintenance of stormwater management facilities.
X	Indicate whether 401/404 permits are required and applied for.

Construction Plan Submittal (in addition to preliminary list)

N/A	Joint application for plan approval (Complete Sediment and Erosion Control if applicable)
N/A	Plan narrative describing site drainage, stormwater management objectives, and how the



PRELIMINARY REPORT ON SUITABILITY FOR ON-SITE WASTEWATER SYSTEM REQUIREMENTS

Submit required documentation to:

Wake County Planning, Development and Inspections
PO Box 550 Wake County Office Building
Raleigh, NC 27602-0550 336 Fayetteville Street Mall, Downtown Raleigh

1. The report must be prepared, stamped, and sealed by a North Carolina Licensed Soil Scientist.
2. The report must include the following:
 - a. Date of soils evaluation
 - b. Method of evaluation
 - c. General description of soil parent material
 - d. Representative soil descriptions of each major soil unit (including site and soil characteristics defined in Regulations Governing Sewage Treatment and Disposal in Wake County, with suitability rating and proposed long-term acceptance rates for wastewater disposal)
3. The report must be accompanied by a site plan that :
 - a. clearly delineates and labels soil suitability units
 - b. notes the method by which soil boundaries were generated (e.g., field location and surveying, plotting from GPS location)
 - c. lists area (sq. ft.) of each soil suitability unit within the site
 - d. designates any off-site wastewater disposal easements and access to these areas (if noncontiguous to the site)
 - e. includes a legend describing suitability for on-site wastewater disposal systems

For more information, contact Wake County Environmental Services Department, 919-856-7400 PO Box 550, Raleigh, NC 27602-0550 [located on the 6th floor of the Wake County Office Building, 336 Fayetteville St. Mall, downtown Raleigh].

Notes: All documents and maps submitted as required become the property of Wake County.
The Wake County Subdivision and Zoning Ordinances are on the web at www.wakegov.com.

For each listed item, check (✓) if provided, write "n/a" if the feature does not exist or is not proposed.			Staff use only
X	22.	Zoning of the property; if conditional use zoning, list all rezoning conditions and case number (if split zoned, give detailed area information for each zoning district)	
X	23.	Note minimum lot size	
X	24.	Note average lot size	
X	25.	Minimum lot width	
X	26.	Note total proposed lots being created	
X	27.	Area of tract (in square feet and acres)	
X	28.	Existing railroad lines and associated rights-of-way or easements (show width)	
X	29.	Please note amount of disturbed area.	
X	30.	Show acreage located in each zoning district or jurisdiction (if split zoned)	
X	31.	Please show setback table	
X	32.	Location and type of historic resources (structures, sites, or objects of historical significance)	
X	33.	Outline of any burial ground or grave sites	
X	34.	If Public or recreation area is being dedicated and/or reserved, show boundary on maps.	
X	35.	List linear footage of roads	
X	36.	Label roads public or private	
X	37.	Show the name for the state road(s)	
X	38.	Show the number for the state road(s)	
GENERAL STANDARDS			
X	39.	Avoidance of hazard areas - Does the site contain land subject to flooding (FEMA floodway or floodway fringe, or flood hazard soils ¹), excessive erosion (steep slopes or highly erodible soils), or other hazards? If so, are proposed lots located so as to avoid creating a danger to life, property, or the public health, safety, or general welfare - i.e., do the lots avoid such lands completely, or at least contain enough buildable area outside of them for a house, yard, driveway, parking area, and, if applicable, well and septic field	
X	40.	Preservation of natural features - Does the site contain any natural features (such as trees, ponds, streams, rivers, lakes) that are of value to the County as a whole? If so, does the proposed design give due consideration to preserving those natural features?	
X	41.	Preservation of historic resources - Does the site contain any areas, sites, structures, or objects of historical, architectural, archeological, or cultural significance to the County as a whole ² ? If so, does the proposed design give due consideration to preserving those historic resources?	
X	42.	Water Quality Protection in Water Supply Watersheds - Is the site zoned R-80W, R-40W, WS-II, WCAO, WMAO, WPAO, or WPAO-2? If so, is the subdivision designed so as to - to the maximum extent practicable - minimize impervious or partially impervious surface coverage, direct stormwater away from surface waters, incorporate Best Management Practices to minimize adverse water quality impacts, and transport stormwater runoff from the development by vegetated conveyances?	

For each listed item, check (✓) if provided, write "n/a" if the feature does not exist or is not proposed.			Staff use only
N/A	50.	Riparian buffer (development within) - Does the plan propose or indicate any development within a required riparian buffer? If so, has the NC Division of Water Quality exempted or authorized such development?	
X	51.	Building setbacks from the water supply watershed and drainageway buffers? Does each lot proposed within or adjacent to a required watershed or drainageway buffer have sufficient area, width, and/or depth to accommodate a reasonably sized and shaped buildable area set back at least 20 feet from the edge of the buffer(s)? [Section 11-23]	
X	52.	Tree and Vegetation Zone? Show tree and vegetation protection zone along perimeter of property. 50-feet along public right of ways and 25-feet along all other property lines [Section 16-12]	
N/A	53.	Landscape Buffers? Please show a type A, B, C, D, E, or F Landscape Buffer along property (this buffer is to supplement to meet the type Landscape Buffer requirement and is to remain undisturbed). This is required because the development is a higher intensity than the adjacent land use. [Section 16-10]	
N/A	54.	Along major thoroughfares - Does the site abut a major thoroughfare? If so, does the plan propose reserving a 10- to 50-foot-wide buffer strip along the major thoroughfare right-of-way for the planting of trees and shrubs? [Section 8-37-3]	
N/A	55.	FEMA? Show the Finished Floor Elevation on all lots that contain FEMA floodway and floodway fringe boundaries, flood hazard soils [contact GIS Dept.] [Adjust FEMA boundaries and flood hazard soils to topography if necessary – contact Environmental Services Dept.] [Article 14]	
N/A	56.	Flood Hazard Soils? If roads, driveways or any activities are located in flood hazard soils, then flood studies will be required [Article 14]	
N/A	57.	Flood Hazard Soils? Do any lots contain flood hazard soils, if so then an asterisk "*" will need to be added on each lot and the appropriate notes need to be added to plat. [Article 14]	
X	58.	Stormwater? Please submit pre/post stormwater calculations for review and approval	
X	59.	Stormwater? Location, type and dimensions/capacities of stormwater management structures and other devices.	
X	60.	Show location of all creeks, streams, ponds and dams.	
N/A	61.	Dam? If a dam is located on the property then the developer is responsible to construct/upgrade the lake and dam to accommodate the runoff from a 24-hour 100-year frequency storm. [Section 8-42]	
UTILITIES			
N/A	62.	Water supply (general) - Does the proposed subdivision have an overall density of 1.45 lots or more per acre? If so, does the plan propose serving its water supply needs with an extension of a municipal system? [12-11-1]	
N/A	63.	Connection to municipal system (water and wastewater) -Is the development located in a short-range urban services area and if so does it meet the criteria of connecting onto a municipal system? Is it within 50 feet per dwelling unit or 2,500 linear feet of an existing system? [12-11-1]	
N/A	64.	Water supply (municipal system) - Does the plan propose serving any lot's water supply needs with an extension of a municipal system? If so, has the municipality preliminarily approved the proposed water line layout as raising no problems to subsequent compliance with applicable design and construction standards? [Section 12-11-2]	

For each listed item, check (√) if provided, write "n/a" if the feature does not exist or is not proposed.			Staff use only
N/A	74.	Certification that any proposed flag lot is necessary to (a) avoid access onto a major thoroughfare, (b) reasonably utilizes irregularly shaped land, (c) reasonably utilize land with difficult topography, or (d) to provide suitable land and soil for location and operation of utilities (per Sec. 8-31-4), plus documentary evidence supporting the certification (applicant must provide justification)	
N/A	75.	Recreation Ordinance Compliance – How does developer desire to comply with the recreation ordinance? Is property desirable for a new public park, trail or other recreation area (to be determined by Parks and Recreation Staff)? Has applicant met with Subdivision staff and Parks staff to determine if dedication/reservation or fee will be required? [Section 8-38]	
N/A	76.	Location and dimensions of parks, recreation areas, and greenways or proposal for fee in lieu. [Section 8-38]	
STANDARDS UNIQUE TO CLUSTER AND OPEN SUBDIVISIONS			
N/A	77.	Site size - Does the parcel(s) making up the site contain at least 10 acres (cluster) or 25 acres (open space) of land area? [Section 5-12-3]	
N/A	78.	Maximum number of lots - Is the total number of lots (excluding potential future development sites) less than or equal to the site's area times the maximum lot density specified for the lot's zoning? [Section 5-12-7]	
N/A	79.	Area of open space - Does the total area of parcels dedicated or reserved as permanent open space make up at least 10% for cluster and 30% for Open Space (if the site is within an Urban Services Area or Urban Services Area/Water Supply Watershed as shown on the County's Land Use Plan,) or 25% for cluster or 40% for open space (if the site is outside an Urban Services Area or Urban Services Area/Water Supply Watershed) of the site area? [Section 5-12-4]	
N/A	80.	Open space use - Are the proposed use(s) of each open space parcel limited to: the conservation of, and avoidance of development in, natural hazard areas (floodways, wetlands, steep slopes, etc.); conservation and protection of significant natural areas (rare plant communities, important wildlife habitat, etc.) or other environmentally sensitive areas (watershed buffers, groundwater recharge areas, etc.); conservation and protection of important historic resources; provision of active and/or passive outdoor recreation opportunities; or continued use of productive farmland or forestland? [Section 5-12-7 (C)] Specific use should be stated on the plan for the individual open space.	
N/A	81.	Priority open space use - Does the plan give highest priority to locating, designing, and using open space to conserve, and avoid development in, natural hazard areas? [Section 5-12-7 (C)]	
N/A	82.	Development in open space - Does the plan propose any structures, access ways, or parking facilities in the open space? If so, are they limited to those necessary and accessory to the designated open space use, or to community wells or individual water supply wells or subsurface sewage disposal fields serving adjacent lots that do not conflict with the designated open space use? [Section 5-12-7 (C)]	
N/A	83.	Design of open space - Is the location, size, character, and shape of each open space parcel appropriate to its designated open space use (e.g., is open space intended for recreation conveniently and safely reached by subdivision residents; is open space intended as ball-fields and playing fields relatively flat and dry)? [Section 5-12-7 (C)]	

For each listed item, check (✓) if provided, write "n/a" if the feature does not exist or is not proposed.			Staff use only
X	99.	General road layout (relation to surrounding road network) - Does the proposed road layout coordinate with the existing and proposed road network for the surrounding area, as established on adopted thoroughfare plans and the road layout within existing and approved subdivisions in the general area? [8-32-11]	
N/A	100.	Road extensions to/from abutting parcels (extensions into site) - Are there any existing public road rights-of-ways in abutting developments or on abutting parcels that extend to the site's boundary? If so, does the proposed road layout incorporate extensions of such roads into the site? [8-32-12]	
N/A	101.	Road extensions to/from abutting parcels (extensions to undeveloped parcels) - Are any of the parcels abutting the site undeveloped, or underdeveloped relative to its zoning? If so, does the proposed road layout provide roads extending to those parcels, and at locations and in a manner that will ensure the orderly future development of such parcels, and safe, convenient, and efficient access to and from such development? [8-32-12]	
N/A	102.	Stub-roads - A temporary turnaround is required on all stub-out roads that exceed 400 feet in length. All appropriate standards and notes are required to meet Section 8-32-13.	
X	103.	Road intersections (angle) - Does each proposed road intersect other roads as nearly as possible at a 90° angle, and no less than a 60° angle? [8-32-15]	
X	104.	Road intersections (approaches) - Does each proposed road intersection include no more than 4 approaching roads? [8-32-15]	
X	105.	Road design in Water Supply Watersheds - Is any road proposed on land zoned R-80W, R-40W, WSO-2NC, WSO-3CA, WSO-NC or WSO-4P? If so, does the road right-of-way follow topographical contour lines as closely as possible, and otherwise relate to surrounding topography so as to indicate no problems in the roadway being designed to divert stormwater runoff from directly draining into water supply waters? Curb and gutter are prohibited except at the entrances to a subdivision. Crossings must meet standards [8-32-18 and 11-22-2]	
N/A	106.	Private roads - Are any new private roads proposed? Class "A" private roads are required for development potential of 7 or more lots and a Class "B" private road is required for 6 or fewer lots being served. [8-32-5 (C) and (D)]	
N/A	107.	Private Road intersections (separation) - Is the distance between the center of each proposed private road intersection and the center of any other existing or proposed private road intersection along the same road at least 135 feet? [Section 8-32-5]	
N/A	108.	Private road design (general) - Is each proposed private road meeting the minimum 45 easement width and other design and construction standards of Section 8-32-5 (D).	
N/A	109.	Private Road disclosure - Have all private disclosure statements been added to plat? [Section 8-32-5(C)(4) and Section 8-32-5(E)]	
N/A	110.	Shared driveways -If direct driveway access to state roads is allowed, the Planning Director and Planning Board are authorized to require shared access drives and other mitigation measures to reduce the number of access points on to state roads. [Section 8-32-3]	
X	111.	Public road design (generally) - Does the layout, location, right-of-way width, and alignment of all proposed public roads comply with NCDOT road standards. Designation of any road on a plat as public will be conclusively presumed to be an offer of dedication to the public. [Section 8-32-4 (A) (C)]	

For each listed item, check (✓) if provided, write "n/a" if the feature does not exist or is not proposed.			Staff use only
N/A	127.	Flag lots - Are any flag lots (irregularly shaped lots proposed where the buildable part of the lot is connected to its road frontage by an arm of the lot and the frontage width is less than the minimum lot width) proposed? If so, is the plan <u>accompanied by evidence</u> showing that each flag lot is necessary to allow the site owner reasonable use of the site or to alleviate a situation that would otherwise cause extreme hardship, and that the flag lot is necessary to either: eliminate access onto a major thoroughfare; reasonably utilize irregularly shaped land; reasonably utilize land with difficult topography; or to provide suitable land and soil for location and operation of utilities? If so, does each such lot meet the applicable minimum lot width standard? [Section 8-31-4]	
MISCELLANEOUS			
X	128.	Subdivision names-An approved subdivision name is required prior to final plat approval. [Section 8-39]. The approval of a preliminary plat does not approve the subdivision name. Please contact 856-6216 for appropriate application.	
X	129.	Check conformity with the Land Use Plan. See http://www.wakegov.com/planning/landuse/default.htm	
X	130.	Identify location of any underground storage tanks, hazardous waste and debris, abandoned wells, septic tanks and similar structures. Specify the eventual disposition of these.	
N/A	131.	Density Bonuses (if applicable) [Article 6]	
		a. Joint Platting (10%)	
		b. Workforce Housing	
		c. Activity Center Design (20%)	
		d. Open Space Preservation option (20%)	
X	132.	Please contact the United States postal Services about the mail delivery mode for this development. Delivery will begin only upon approval from a responsible USPS Representative and only to locations and equipment approved by the USPS. 919-420-5183 San Matthews. A location may need to be designated for a centralized neighborhood mailbox.(this may impact impervious, parking, etc associated with the neighborhood mailbox)	
<p>Notes: All documents and maps submitted as required become the property of Wake County. The Wake County Zoning and Subdivision Ordinances are on the web at www.wakegov.com All application fees are non-refundable. The Subdivision Administrator may waive required information he or she certifies in writing as unnecessary to determine compliance with applicable standards and requirements. Other applicable standards may apply. The File Number should be used on all correspondence subsequent to application acceptance.</p>			

8	Replacement or Expansion with Net Increase in BUA proposed development that would replace or expand structures or improvements and that would result in a net increase in built-upon area shall meet the target of 3.6 lbs/ac/yr for the entire site OR achieve a 30% reduction in nitrogen loading and no increase in phosphorus loading.		
9	Riparian Buffers – new development shall comply with the riparian buffer protection requirements of 15A NCAC 02B.0233 and .0242 or subsequent amendments or replacements to those requirements. [15A NCAC 02B.0235]		
10	Nutrient Offset Option- Developers shall have the option of offsetting part of their nitrogen load by funding onsite management measures by making payment to the NC Ecosystem Enhancement Program or to another seller of offset credits approved by the Division or may implement other offset measures contingent upon approval by the Division. Prior to accessing the Ecosystem Enhancement Program (EEP) Nutrient Offset Program, all applicants are now required by law to comply with Session Law 2009-337 An Act to Promote the Use of Compensatory Mitigation Banks and also with SL 2011-343. Please refer to DENR's Implementation Policy for more detailed guidance. However, before using offset payments, the development must attain, at a minimum, a nitrogen export that does not exceed 6 pounds/acre/year for residential development and 10 pounds/acre/year for commercial or industrial development. [15A NCAC 02B.0235 (4)(a)]		
11	Stormwater Improvements – The developer shall complete all stormwater improvements (drainage culverts, BMPs, et. al.) prior to CO or record plat OR shall post a performance guarantee. The developer shall submit a plan to ensure maintenance, enforcement and compliance of Best Management Practices (BMPs) for the life of the new development. [Wake County]		
12	Plan Submittal – preliminary and construction plans shall be submitted along with the Wake County Hybrid Stormwater Tool and stormwater submittal checklist; Presubmittal meetings shall be scheduled through the Planning Department.		

NOTE: Please contact Wake County Environmental Services (919-856-7400) for Jordan Lake and Falls Lake Nutrient Management Strategy Checklist.

Utilities and Services

Water supplier:

municipal system: _____

community system: _____

individual well(s): _____

Wastewater collection/treatment provider:

municipal system: _____

community system – specify type: _____

individual on-site system: _____

Water and Septic to be certified by:

Environmental Services (fees and applications must be included)

Soil Scientist (soils report and delineation map will be required; septic layouts will be needed for those lots certified as Section 6 under the On-Site Septic rules)

Payment of \$300.00 for each sheet with new lots must accompany this application.



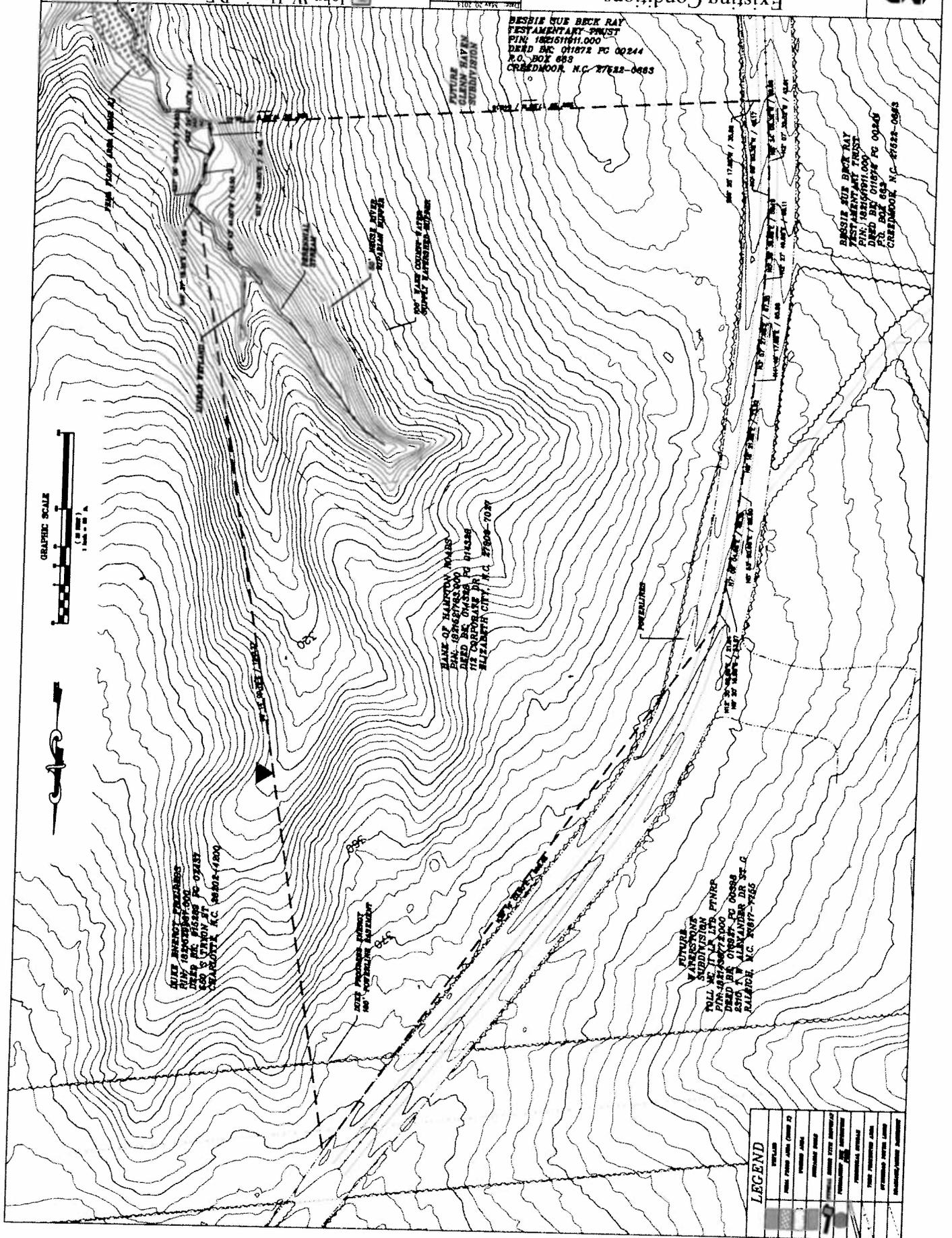
Falls Ridge Lot x Lot Sub'd

Existing Conditions

John W. Harris, P.E.
Consulting Engineer, Inc.

5117 Bur Oak Circle
Raleigh, N.C. 27612
(919) 790-0744
www.jwharris.net

Date:	May 20, 2014
Project:	Falls Ridge Lot x Lot Sub'd
Client:	John W. Harris, P.E.
Scale:	1" = 50'



LEGEND	
[Symbol]	EXISTING
[Symbol]	PROPOSED
[Symbol]	ADJACENT PROPERTY
[Symbol]	ADJACENT ROAD
[Symbol]	ADJACENT RAILROAD
[Symbol]	ADJACENT WATERWAY
[Symbol]	ADJACENT AIRWAY
[Symbol]	ADJACENT POWERLINE
[Symbol]	ADJACENT TELEPHONE LINE
[Symbol]	ADJACENT FENCE LINE
[Symbol]	ADJACENT UTILITY



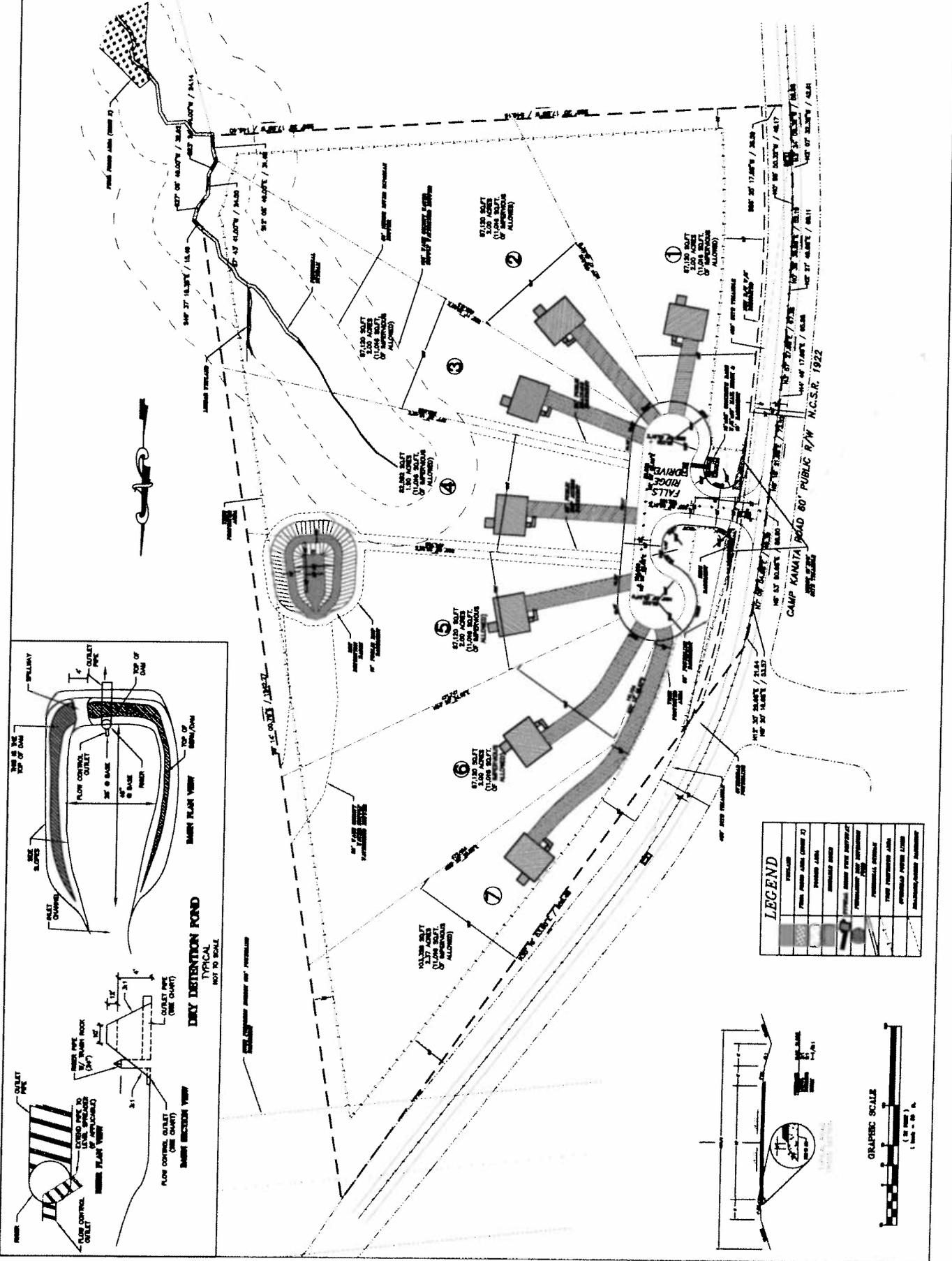
Falls Ridge Lot x Lot Sub'd

Site Plan - Preliminary

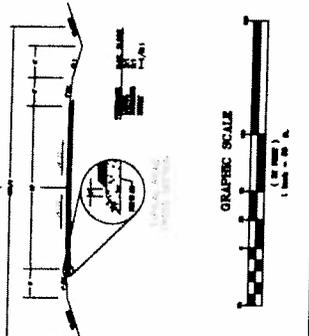
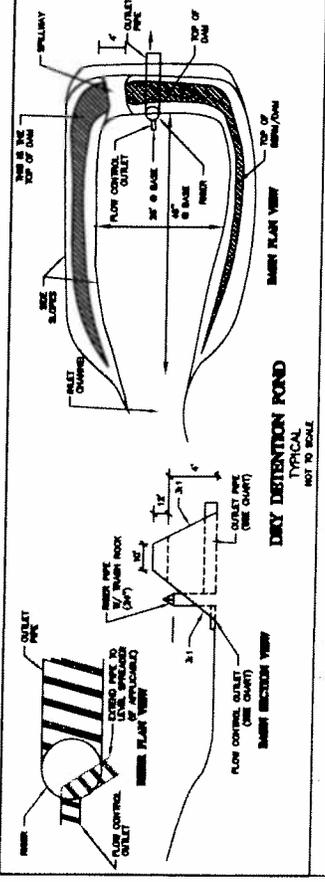
For

DATE: MAY 20, 2014
SCALE: 1" = 50'
DRAWN BY: EHS/BAH
CHECKED BY: JWH
PROJECT NO: 14-001
PROJECT NAME: FALLS RIDGE LOT X LOT SUB'D
CLIENT: [REDACTED]
LOCATION: [REDACTED]
DESIGNED BY: [REDACTED]
APPROVED BY: [REDACTED]

John W. Harris, P.E.
Consulting Engineers, Inc.
5112 Bur Oak Creek
Raleigh, N.C. 27612
(919) 789-0744
www.jwharris.net



LEGEND	
[Symbol]	WETLANDS
[Symbol]	PERMITS AREAS (ZONE 2)
[Symbol]	PERMITS AREAS (ZONE 1)
[Symbol]	PERMITS AREAS (ZONE 3)
[Symbol]	PERMITS AREAS (ZONE 4)
[Symbol]	PERMITS AREAS (ZONE 5)
[Symbol]	PERMITS AREAS (ZONE 6)
[Symbol]	PERMITS AREAS (ZONE 7)
[Symbol]	PERMITS AREAS (ZONE 8)
[Symbol]	PERMITS AREAS (ZONE 9)
[Symbol]	PERMITS AREAS (ZONE 10)
[Symbol]	PERMITS AREAS (ZONE 11)
[Symbol]	PERMITS AREAS (ZONE 12)
[Symbol]	PERMITS AREAS (ZONE 13)
[Symbol]	PERMITS AREAS (ZONE 14)
[Symbol]	PERMITS AREAS (ZONE 15)
[Symbol]	PERMITS AREAS (ZONE 16)
[Symbol]	PERMITS AREAS (ZONE 17)
[Symbol]	PERMITS AREAS (ZONE 18)
[Symbol]	PERMITS AREAS (ZONE 19)
[Symbol]	PERMITS AREAS (ZONE 20)

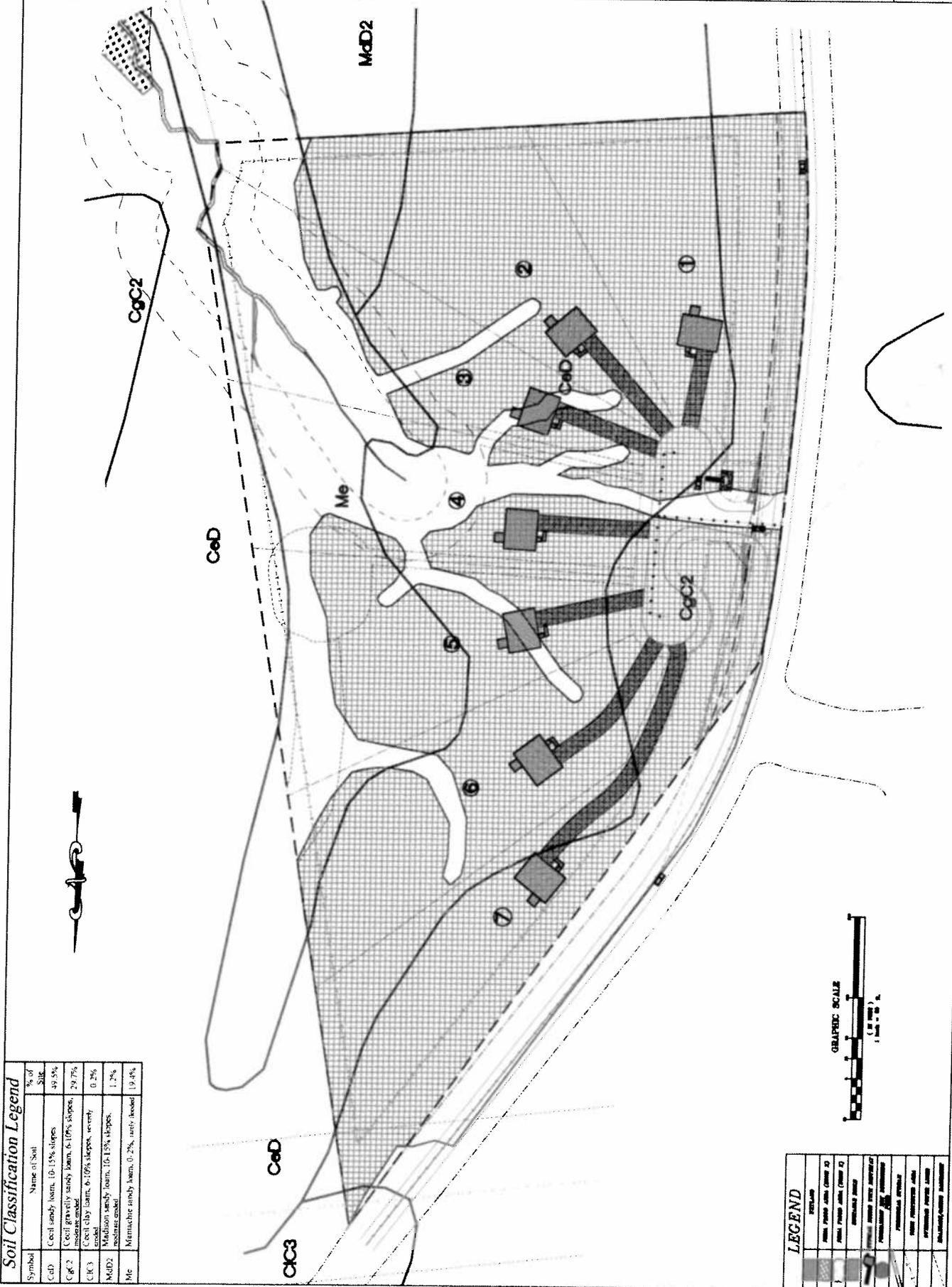




Soils Sheet
For
Falls Ridge Lot x Lot Subd

Date	May 20, 2014
Scale	AS SHOWN
Drawn By	RES/BAH
Check By	RES/BAH
Job #	1409014
Printed Date	
Printed Time	
Plot Number	
Plot Name	

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Consulting Engineer, Inc.
1112 Rock Oak Circle
Raleigh, N.C. 27612
(919) 780-0744
www.hartsinc.com



Soil Classification Legend

Symbol	Name of Soil	% of Soil
CaD	Cecil sandy loam, 10-15% slopes	49.5%
CgC2	Cecil gravelly sandy loam, 6-10% slopes, moderate eroded	29.7%
CaC3	Cecil clay loam, 6-10% slopes, severe	0.2%
MdD2	Macon sandy loam, 10-15% slopes, moderate eroded	1.2%
Me	Macon sandy loam, 0-2%, rarely flooded	19.4%

LEGEND

[Symbol]	EXISTING
[Symbol]	PROPOSED DRIVE (LINE 12)
[Symbol]	PROPOSED DRIVE (LINE 13)
[Symbol]	PROPOSED DRIVE (LINE 14)
[Symbol]	PROPOSED DRIVE (LINE 15)
[Symbol]	PROPOSED DRIVE (LINE 16)
[Symbol]	PROPOSED DRIVE (LINE 17)
[Symbol]	PROPOSED DRIVE (LINE 18)
[Symbol]	PROPOSED DRIVE (LINE 19)
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[Symbol]	PROPOSED DRIVE (LINE 100)

