



SPECIAL USE PERMIT APPLICATION



File #
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Check #
Rec'd Date
Rec'd By

Submit required documentation to:
Wake County Planning, Development and Inspections
PO Box 550 Wake County Office Building
Raleigh, NC 27602-0550 336 Fayetteville Street Mall, Downtown Raleigh
Contact (919) 856-6335 for additional information.

Complete with required information (write "n/a" if information is not applicable to proposal).

Type of Special Use (be as specific as possible and cite code section listing use as permitted special use)

Wireless Communications Facility (<200'); Special Use Required per Use Table 4-11 and Section 4-56 Use Regulations

Modification of previously issued Special Use Permit? ()Yes [X]No

If Yes, provide relevant Special Use Permit Number:

Property

Parcel Identification Number: 0780157121 & 0780145769

Address: 7520 Blaney Franks Road, Apex, NC 27539

Location: West side of Blaney Franks Road, at/between North of Tucker Drive and West of Old Sorrel Road

Total site area in square feet and acres: 201,264 & 43,564 square feet 4.62 & 1 acres

Zoning District(s) and Overlay Districts (if any) and land area within each: R-40W

List Conditions of any Conditional Use Zoning Districts: Tower must comply with conditions listed in section 4-56 of the UDO for Wireless Telecommunications Facilities. Requesting a variance to section 4-56-1(B)(1) for setback requirements to be reduced to 50% of tower height per section 4-56-1(B)(2).

Present land use(s): Vacant

How is this proposed use a public necessity?

The tower would increase the cellular service availability and quality for local residents, up to 4 wireless carriers

What is impact on surrounding neighborhood and adjacent properties?

Minimal visual impact; traffic less than 5 trips to site per month by light truck

Land Owner

Land Owner Name: Frank & Linda Hicks (parcel owner)

Business Operator Name (if different from Land Owner): SBA Communications (Lessee)

Address: 8051 Congress Ave

City: Boca Raton State: FL Zip Code: 33487

E-mail Address: ggutierrez@sbsite.com

Fax:

Telephone Number: 561-322-7867

Applicant (person to whom all correspondence will be sent)

Name: Williams Mullen - Attorney Thomas H. Johnson, Jr.

Address: 301 Fayetteville St., Suite 1700

City: Raleigh State: NC Zip Code: 27603

E-mail Address: tjohnson@williamsullen.com Fax: _____

Telephone Number: 919-981-4006 Relationship to Owner: Attorney/Agent

Proposal

Max. allowable floor area ratio (see applicable zoning district/use regulation): N/A

Proposed total floor area: N/A sf Proposed floor area ratio (floor area/site area): N/A

Max. allowable impervious surface coverage (see applicable zoning district/use regulation) : 12 %

Proposed impervious surfaces area: Parcel# 0780157121 - 9919 SF & Parcel# 0780145769 - 2712 SF sf

Proposed impervious surface coverage (impervious surfaces area/site area x 100): 5.12% & 6.48% %

Required transitional bufferyard types and depths (see Article 16):

Front (C) 40 ft Left () _____ ft Right () _____ ft Rear () _____ ft

Proposed transitional bufferyard types and depths (see Article 16):

Front (C) 35 ft Left () _____ ft Right () _____ ft Rear () _____ ft

Min. yard depths (see applicable district/use regulation):

Front 30 ft Corner side 30 ft Side 15 ft Rear 30 ft

Proposed yard depths: Front ~220 ft Corner side ~80 ft Side ~80 ft Rear ~85 ft

Max. building height (see applicable district/use regulation): N/A ft

Proposed building height: N/A ft

Min. parking space standard (see Article 15): 2 spaces per Tower

Min. no. of parking spaces: 2 Proposed no. of parking spaces 2

Number of employees: N/A Hours of operation: N/A

Vehicular Access:

Names of access street(s) and number of access points along each: Tucker Drive, 1 access point

Name of access or adjacent street	Right-of-way width (ft)	Pavement width (ft)	No. of lanes	Paved? (Y or N)	Roadway design capacity ¹	Traffic volume (ADT) ²	Est. traffic generated (ADT) ³
Tucker Street	60'			N		de minimis	de minimis

¹ See NCDOT Highway Capacity Manual or most recent Wake County Thoroughfare Plan Appendix

² See CAMPO web site (www.raleigh-nc.org/campo) or NCDOT Traffic Survey Unit

³ Base on Institute of Transportation Engineers ratios - ratio used for estimate (e.g., x trips per y sf) _____

Estimated traffic generated by heavy vehicles (vehicles other than automobiles and light trucks):

Type of vehicle: None ADT: None

Type of vehicle: _____ ADT: _____

Utilities and Services:

Water supply provided by: () municipal system : N/A

() community system – specify type: N/A () individual well(s)

Est. total water demand: N/A gpd

Wastewater collection/treatment provided by: () municipal system: N/A

() community system – specify type: _____

() individual on-site system

Est. total wastewater discharge: N/A gpd

Solid waste collection provided by: N/A

Electrical service provided by: Duke Progress Underground yes () no

Natural gas service provided by: N/A

Telephone service provided by: Sprint Underground yes () no

Cable television service provided by: N/A Underground () yes () no

Fire protection provided by: _____

Miscellaneous:

Generalized slope of site NE

Valuable natural features (rare plant community, wildlife habitat, lake, stream, geology, etc.) on or adjoining site: N/A

Valuable historic resources (homestead, mill, archeological site) on or adjoining site: N/A

Land Use Plan Classifications

General Classification (note associated municipality and/or watershed):

() Short-Range Urban Services Area/Water Supply Watershed _____

() Short-Range Urban Services Area _____

() Long-Range Urban Services Area/Water Supply Watershed _____

() Long-Range Urban Services Area _____

Non-Urban Area/Water Supply Watershed Swift Creek

() Non-Urban Area

Land Use Classification(s) (Note Area Land Use Plan, if applicable):

Swift Creek Land Management

Applicant's statement of compliance with county, municipal and joint Land Use Plans (How is proposal consistent with Land Use Plan objectives for planning area, Land Use classification, activity centers, locational standards and transitional urban development standards?)

The site will not exceed 12% impervious surface area, and will comply with the R-40W watershed regulations. The site is unmanned and should not pose any water quality impacts and will comply with buffers requirements and hazardous materials controls (if any). All sediment and runoff during construction will be controlled per regulations.

Other information (additional relevant information about the site or proposal you wish to note or cite)

All property owners must sign this application unless one or more individuals are specifically authorized to act as an agent on behalf of the collective interest of some or all of the owners (provide a copy of such authorization).

The undersigned property owner(s) hereby authorize the filing of this application (and any subsequent revisions thereto). The filing of this application authorizes the Wake County staff to enter upon the site to conduct relevant site inspections as deemed necessary to process the application.

Signature: See attached Appointment of Agent Letter Date: _____

Signature: _____ Date: _____

Signature: _____ Date: _____

Land use professionals (architects, engineers, planners, landscape architects, etc.), as well as employees of corporate or municipal applicants, may testify at quasi-judicial proceedings about factual matters in support of an application, petition or appeal. However, they MAY NOT examine or cross-examine witnesses, make legal arguments as to why an application, petition or appeal should be granted, or otherwise advocate for results on behalf of another individual or entity at a quasi-judicial proceeding. These functions can ONLY be performed at a quasi-judicial proceeding by an attorney licensed to practice law in North Carolina. Therefore, it is **strongly recommended** that unless you are an individual representing yourself in a quasi-judicial proceeding, you have an attorney present to present your case.

The undersigned applicant hereby certifies that, to the best of his or her knowledge and belief, all information supplied with this application is true and accurate.

Signature:  Date: 6/4/18

Thomas Johnson Jr. Attorney for SBA Communications 919-981-4006 ext. Johnston@williamsmullen.com
Notes: All documents and maps submitted as required become the property of Wake County.
The Wake County Unified Development Ordinance is on the web at www.wakegov.com.

WILLIAMS MULLEN

Thomas H. Johnson, Jr.
Direct Dial: 919.981.4006
tjohnson@williamsmullen.com

June 1, 2018

Wake County Planning, Development & Inspections
336 Fayetteville Street Mall
Raleigh, North Carolina 27603

Re: Special Use Permit Application – Statement of Justification
Parcel # 0780157121 & 0780145769
7520 Blaney Franks Road, Apex, NC

Dear Sir or Madame:

Our firm represents SBA Communications and provide the following Statement of Justification for a Special Use Permit application on their behalf:

- (1) The proposed development will not materially endanger the public health or safety.
 - The site will generate minimal traffic once construction is complete. It will be unmanned and only visited a few times a month.
 - The only utility necessary for the site is electricity. No waste will be generated.
 - Soil erosion and sedimentation will be closely monitored and precautions taken to minimize impact during construction. After construction, no erosion issues are expected.
 - The proposed site will only minimally increase the impervious surface area of the land. The impervious surface will not exceed more than 7% of the total parcel area. This minimal amount should not affect the water supply or surface waters.
 - The proposed tower will provide a vital link for residents to access emergency services.
- (2) The proposed development will comply with all regulations and standards generally applicable within the zoning district and specifically applicable to the particular type of Special Use or class of Special Uses.
 - Please see attached Site Plans for site details and layout. Site will comply with all development standards applicable to Telecommunications Facilities and development within the R-40W zoning district.
- (3) The proposed development will not substantially injure the value of adjoining property, or is a public necessity.
 - The site is a replacement tower for a nearby location that will be decommissioned. The current tower that exists has not substantially injured the value of the property or nearby properties.

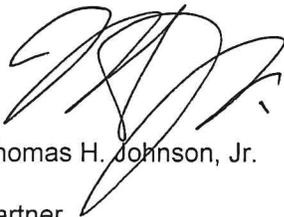
WILLIAMS MULLEN

June 1, 2018
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- The proposed telecommunications tower will continue to provide cellular and wireless data service to the surrounding community, enhancing the value of adjoining properties.
 - Other towers are located in the area and have been in the area for many years.
- (4) The proposed development will be in harmony with the area in which it is located.
- The proposed tower is allowed as a Special use in this district and as a result is presumed to be in harmony with the surrounding area.
 - The tower will meet all requirements of the Ordinance for Telecommunications Facilities which are designed to ensure the proposed tower is in harmony.
 - Several other transmission towers exist within the vicinity of the proposed site that have not affected the visual harmony of the area.
 - The surrounding area is semi-rural and heavily wooded.
- (5) The proposed development will be consistent with the Wake County Land Use Plan.
- The site will be consistent with the Wake County Land Use Plan for the Swift Creek Land Management Plan. The site will not exceed the 12% impervious surface allowance and will have landscape buffers installed as required. Existing trees and shrubs will be maintained as much as possible.
 - The site is an unmanned location. Minimal visits to the site for maintenance will not impact the surrounding properties or environment.
 - The proposed tower is allowed as a Special Use in the R-40W district.
 - The proposed tower provides necessary communication services to residents of Wake County, as well as access to emergency communications in this particular area.

If you require additional information of clarification on this project, please do not hesitate to contact me. Thank you for your assistance.

Sincerely,



Thomas H. Johnson, Jr.

Partner

March 26, 2018

Ms. Andrea Gassner
Construction Project Manager
SBA Communications Corporation
8051 Congress Avenue
Boca Raton, FL 33487-2797

RE: Proposed 230' Self-Supporting Tower for Lake Wheeler

Dear Ms. Gassner,

Upon receipt of order, we propose to design and supply the above referenced tower for a Basic Wind Speed of 90 mph with no ice and 30 mph with 3/4" radial ice, Structure Class II, Exposure Category C, and Topographic Category 1, in accordance with the Telecommunications Industry Association Standard ANSI/TIA-222-G, "Structural Standard for Antenna Supporting Structures and Antennas".

When designed according to this standard, the wind pressures and steel strength capacities include several safety factors, resulting in an overall minimum safety factor of 25%. Therefore, it is highly unlikely that the tower will fail structurally in a wind event where the design wind speed is exceeded within the range of the built-in safety factors.

Should the wind speed increase beyond the capacity of the built-in safety factors, to the point of failure of one or more structural elements, the most likely location of the failure would be within one or more of the tower members in the upper portion. This would result in a buckling failure mode, where the loaded member would bend beyond its elastic limit (beyond the point where the member would return to its original shape upon removal of the wind load).

Therefore, it is likely that the overall effect of such an extreme wind event would be localized buckling of a tower section. Assuming that the wind pressure profile is similar to that used to design the tower, the tower is most likely to buckle at the location of the highest combined stress ratio in the upper portion of the tower. This would result in the portion of the tower above the failure location "folding over" onto the portion of the tower below the failure location. **Please note that this letter only applies to the above referenced tower designed and manufactured by Sabre Towers & Poles.** In the unlikely event of total separation, this, in turn, would result in collapse within a radius equal to 114 feet.

Sincerely,

Robert E. Beacom, P.E., S.E.
Senior Design Engineer



FAA 1-A SURVEY CERTIFICATION

Applicant: SBA Towers IX, LLC
8051 Congress Avenue
Boca Raton, Florida 33487-1307

Site Number: 18078

Site address: 7520 Blaney Franks Rd.
Apex, NC 27539

Horizontal Datum: GPS Survey, NAD 83 (2011)
Vertical Datum: GPS Survey, NAVD 88
Structure Type: Proposed Self Support Tower

Latitude: N 35°41'14.53"
Longitude: W 78°43'30.25"

Existing Ground Elevation: 370.42 ft. AMSL
Proposed Ground Elevation: 372.00 ft. AMSL 0 ft. AGL
Top of Proposed Antenna: 602.00 ft. AMSL 230.00 ft. AGL

Certification: I certify on March 23, 2018 that the latitude of N 35°41'14.53" and the longitude of W 78°43'30.25" are accurate to within +/- 20 feet horizontal, and that the existing ground elevation of 370.42 feet is accurate to within +/- 3 feet vertically. The horizontal datum (coordinated) are in terms of the North American Datum of 1983 (NAD 83) and are expressed in degrees, minutes and seconds, to the nearest hundredth of a second. The vertical data (heights) are in terms of the North American Vertical Datum of 1988 (NAVD 88) and are determined to the nearest hundredth of a foot.

Company: Dewberry Engineers Inc.

Surveyor
Signature/Seal
Printed Name
License Number
Phone
Date:


Adam C. Hales, PLS
L-4980
919-424-3715
March 23, 2018



GENERAL CONSTRUCTION NOTES:

- ALL WORK SHALL CONFORM TO ALL CURRENT APPLICABLE FEDERAL, STATE, AND LOCAL CODES, AND COMPLY WITH SBA SPECIFICATIONS.
- CONTRACTOR SHALL CONTACT NC ONE-CALL SYSTEM (1-800-632-4949) FOR IDENTIFICATION OF UNDERGROUND UTILITIES PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL REQUIRED INSPECTIONS.
- ALL DIMENSIONS TO, OF, AND ON EXISTING BUILDINGS, DRAINAGE STRUCTURES, AND SITE IMPROVEMENTS SHALL BE VERIFIED IN FIELD BY CONTRACTOR WITH ALL DISCREPANCIES REPORTED TO THE ENGINEER.
- DO NOT CHANGE SIZE OR SPACING OF STRUCTURAL ELEMENTS.
- DETAILS SHOWN ARE TYPICAL; SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
- THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY WHICH IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL BRACE STRUCTURES UNTIL ALL STRUCTURAL ELEMENTS NEEDED FOR STABILITY ARE INSTALLED. THESE ELEMENTS ARE AS FOLLOWS: LATERAL BRACING, ANCHOR BOLTS, ETC.
- CONTRACTOR SHALL DETERMINE EXACT LOCATION OF EXISTING UTILITIES, GROUNDS DRAINS, DRAIN PIPES, VENTS, ETC. BEFORE COMMENCING WORK.
- INCORRECTLY FABRICATED, DAMAGED, OR OTHERWISE MISFITTING OR NONCONFORMING MATERIALS OR CONDITIONS SHALL BE REPORTED TO THE OWNER PRIOR TO REMEDIAL OR CORRECTIVE ACTION. ANY SUCH REMEDIAL ACTION SHALL REQUIRE WRITTEN APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING.
- EACH CONTRACTOR SHALL COOPERATE WITH THE OWNER'S REPRESENTATIVE, AND COORDINATE HIS WORK WITH THE WORK OF OTHERS.
- CONTRACTOR SHALL REPAIR ANY DAMAGE CAUSED BY CONSTRUCTION OF THIS PROJECT TO MATCH EXISTING PRE-CONSTRUCTION CONDITIONS TO THE SATISFACTION OF THE SBA CONSTRUCTION MANAGER.
- ALL CABLE/CONDUIT ENTRY/EXIT PORTS SHALL BE WEATHERPROOFED DURING INSTALLATION USING A SILICONE SEALANT.
- WHERE EXISTING CONDITIONS DO NOT MATCH THOSE SHOWN IN THIS PLAN SET, CONTRACTOR WILL NOTIFY ENGINEER, SBA PROJECT CONSTRUCTION MANAGER, AND LANDLORD IMMEDIATELY.
- CONTRACTOR SHALL ENSURE ALL SUBCONTRACTORS ARE PROVIDED WITH A CURRENT SET OF DRAWINGS AND SPECIFICATIONS FOR THIS PROJECT.
- CONTRACTOR SHALL REMOVE ALL RUBBISH AND DEBRIS FROM THE SITE AT THE END OF EACH DAY.
- CONTRACTOR SHALL COORDINATE WORK SCHEDULE WITH LANDLORD AND TAKE PRECAUTIONS TO MINIMIZE IMPACT AND DISRUPTION OF OTHER OCCUPANTS OF THE FACILITY.
- CONTRACTOR SHALL FURNISH SBA WITH THREE AS-BUILT SETS OF DRAWINGS UPON COMPLETION OF WORK.
- ANTENNAS AND CABLES ARE TYPICALLY PROVIDED BY CARRIER. PRIOR TO SUBMISSION OF BID, CONTRACTOR SHALL COORDINATE WITH SBA PROJECT MANAGER TO DETERMINE WHAT, IF ANY, ITEMS WILL BE PROVIDED BY SBA. ALL ITEMS NOT PROVIDED BY SBA SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR. CONTRACTOR WILL INSTALL ALL ITEMS PROVIDED BY SBA.
- PRIOR TO SUBMISSION OF BID, CONTRACTOR WILL COORDINATE WITH SBA PROJECT MANAGER TO DETERMINE IF ANY PERMITS WILL BE OBTAINED BY TRY-MAC. ALL REQUIRED PERMITS NOT OBTAINED BY SBA MUST BE OBTAINED, AND PAID FOR, BY THE CONTRACTOR.
- CONTRACTOR SHALL START UP HVAC UNITS AND SYNCHRONIZE THE THERMOSTATS.
- CONTRACTOR SHALL SUBMIT ALL SHOP DRAWINGS TO ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.
- UNLESS OTHERWISE NOTED CARRIERS SHALL PROVIDE ALL REQUIRED RF MATERIAL FOR CONTRACTOR TO INSTALL, INCLUDING ANTENNAS, TMA'S, BIAS-T'S, COMBINERS, PDU, DC BLOCKS, SURGE ARRESTORS, GPS ANTENNA, GPS SURGE ARRESTOR, COAXIAL CABLE.
- PRIOR TO SUBMISSION OF BID, CONTRACTOR SHALL VERIFY ALL EQUIPMENT TO BE PROVIDED BY SBA FOR INSTALLATION BY CONTRACTOR.
- ALL EQUIPMENT SHALL BE INSTALLED ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND LOCATED ACCORDING TO SBA SPECIFICATIONS, AND AS SHOWN IN THESE PLANS.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- CONTRACTOR SHALL NOTIFY THE ENGINEER A MINIMUM OF 48 HOURS IN ADVANCE PRIOR TO CONSTRUCTION START, MORE SPECIFICALLY BEFORE SEALING ANY FLOOR, WALL OR ROOF PENETRATION, FINAL UTILITY CONNECTIONS, POURING CONCRETE, BACKFILLING UTILITY TRENCHES AND STRUCTURAL POST OR MOUNTING CONNECTIONS, FOR ENGINEERING REVIEW AND INSPECTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SAFETY INCLUDING COMPLIANCE WITH ALL APPLICABLE OSHA STANDARDS AND RECOMMENDATIONS AND SHALL PROVIDE ALL NECESSARY SAFETY DEVICES INCLUDING PPE AND PPM AND CONSTRUCTION DEVICES SUCH AS WELDING AND FIRE PREVENTION, TEMPORARY SHORING, SCAFFOLDING, TRENCH BOXES/SLOPING, BARRIERS, ETC. THIS SHALL INCLUDE A DETAILED SAFETY PLAN.
- THE CONTRACTOR, OR HIS REPRESENTATIVE, IS TO DESIGNATE AN INDIVIDUAL RESPONSIBLE FOR CONSTRUCTION SITE SAFETY DURING THE COURSE OF SITE IMPROVEMENTS.
- THE TOWER WAS DESIGNED BY OTHERS. THIS TOWER IS TO BE CONSTRUCTED PER THEIR DESIGN.

SITE WORK

- THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS INDICATED ON THE DRAWINGS AND SHALL NOTIFY THE SBA PROJECT MANAGER IN WRITING OF ANY VARIATION PRIOR TO PURCHASING OF MATERIALS, FABRICATION OR CONSTRUCTION. CONTRACTOR SHALL BE LIABLE FOR RESTOCKING CHARGES, REPLACEMENT COSTS AND DELAYS IF HE FAILS TO COMPLY WITH THIS PROVISION.
- THE CONTRACTOR SHALL PERFORM ALL WORK AND INSTALL MATERIALS IN STRICT ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS AND IN A MANNER CONSISTENT WITH INDUSTRY STANDARD WORKMANSHIP.
- WORK DAMAGED DURING CONSTRUCTION OR NOT CONFORMING TO SPECIFIED STANDARDS, TOLERANCES ON MANUFACTURER'S INSTRUCTIONS FOR INSTALLATION SHALL BE REPLACED BY THE CONTRACTOR TO THE SATISFACTION OF THE SBA PROJECT MANAGER, AT NO ADDITIONAL COST.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR, AND HAVE CONTROL OVER ALL CONSTRUCTION MEANS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK REQUIRED BY THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ERRORS, OMISSIONS OR DELAYS RESULTING FROM THE CONTRACTORS PERFORMANCE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ERRORS AND OMISSIONS OF THE CONTRACTORS EMPLOYEES, SUBCONTRACTORS AND THEIR AGENTS AND EMPLOYEES AND ANY OTHER PERSONS PERFORMING ANY OF THE WORK UNDER A CONTRACT WITH THE CONTRACTOR.
- THE CONTRACTOR SHALL PROVIDE AND PAY FOR ANY AND ALL MATERIALS, LABOR, EQUIPMENT TOOLS, CONSTRUCTION EQUIPMENT, WAREHOUSING, TRANSPORTATION AND DELIVERY COSTS, HOISTING, REMOVAL OF TRASH AND DEBRIS AND OTHER FACILITIES AND SERVICES NECESSARY FOR THE EXECUTION AND COMPLETION OF WORK.
- THE CONTRACTOR SHALL MAKE PROVISIONS TO CONTACT ALL UTILITY COMPANIES TO PERFORM A MARK-OUT OF THEIR UTILITIES PRIOR TO ANY EXCAVATION IN ACCORDANCE WITH STATE AND LOCAL LAW (CONTACT NC ONE-CALL SYSTEM (1-800-632-4949)).
- THE CONTRACTOR MUST OBTAIN ALL REQUIRED CONSTRUCTION PERMITS PRIOR TO THE START OF CONSTRUCTION.
- ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES, AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY THE RESPECTIVE UTILITY OWNER. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR PIER DRILLING AROUND OR NEAR UTILITIES. CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS WILL INCLUDE BUT NOT LIMITED TO A) FALL PROTECTION B) CONFINED SPACE C) ELECTRICAL SAFETY D) TRENCHING AND EXCAVATION.
- ALL SITE WORK SHALL BE AS INDICATED ON THE DRAWINGS AND STIPULATED IN THE WIRELESS CARRIERS GENERAL CONSTRUCTION SPECIFICATIONS.
- IF NECESSARY, RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
- THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE EQUIPMENT AND TOWER AREAS.
- NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND. FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.
- EXCEPT IN THE AREA OF THE STORMWATER MANAGEMENT FACILITY, THE SUBGRADE SHALL BE COMPACTED IN 12-INCH LIFTS AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION.
- ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF THE RESPECTIVE UTILITY OWNER.
- THE AREAS OF THE OWNER'S PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE BUILDING, WALKWAY OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE, TOP SOILED, FERTILIZED, SEEDED, AND COVERED WITH MULCH.

TOWER FOUNDATION NOTES:

- DESIGN AND CONSTRUCTION SHALL CONFORM TO THE AMERICAN CONCRETE INSTITUTE "BUILDING CODE REQUIREMENTS FOR RE-INFORCED CONCRETE" ACI 318, LATEST EDITION.
- ULTIMATE COMPRESSIVE STRENGTH OF CONCRETE AT 28 DAYS SHALL BE 4000 PSI.
- CONCRETE SHALL NOT BE PLACED AT TEMPERATURES BELOW 32 DEGREES F.
- CEMENT SHALL BE PORTLAND CEMENT CONFORMING TO ASTM C150 - TYPE 1.
- REINFORCING STEEL SHALL BE DEFORMED BARS CONFORMING TO ASTM A615 - GR 60, "DEFORMED AND PLAIN BILLET STEEL BARS FOR CONCRETE REINFORCEMENT", LATEST EDITION.
- CONCRETE WORK AND MATERIALS SHALL CONFORM TO THE AMERICAN CONCRETE INSTITUTE "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS", ACI 301, LATEST EDITION.
- CONCRETE COVER FOR REINFORCING SHALL BE 3 INCHES FOR CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH. AT ALL OTHER CONCRETE SURFACES MINIMUM COVER SHALL BE 2 INCHES UNLESS NOTED OTHERWISE.
- THE ASSUMED SOIL BEARING CAPACITY IS 2 KIPS (1 TON)/SF.
- LAP SPLICES FOR REINFORCING SHALL BE 40 BAR DIAMETERS, UNLESS OTHERWISE NOTED.
- WELDING OF REINFORCING STEEL IS SPECIFICALLY PROHIBITED.
- ALL REINFORCING, EMBEDDED STEEL, INSERTS AND ALL OTHER EMBEDDED ITEMS SHALL BE IN PLACE BEFORE START OF CONCRETE PLACEMENT.
- JOINT FILLER SHALL BE PREFORMED RESILIENT BITUMINOUS EXPANSION JOINT FILLER CONFORMING TO ASTM D1751, LATEST EDITION.
- THE TOP OF ALL CONCRETE SURFACES SHALL BE TRUE AND LEVEL WITH A SMOOTH FLOAT FINISH, UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE WITHIN PLUS/MINUS 1/8 INCH.
- CONTRACTOR SHALL PROVIDE 48 HOURS NOTICE TO ALL CARRIERS PRIOR TO PLACEMENT OF CONCRETE.
- THE CONTRACTOR SHALL MAKE AND CURE A MINIMUM OF THREE (3) COMPRESSIVE STRENGTH TEST CYLINDERS IN ACCORDANCE WITH ASTM C31 FOR EACH CLASS OF CONCRETE SPECIFIED. A CERTIFIED TESTING LAB SHALL PERFORM ONE COMPRESSIVE STRENGTH TEST AT 7 DAYS AND 2 AT 28 DAYS. THE TEST RESULTS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND ACCEPTANCE.
- THE FOUNDATION DESIGN BY OTHERS. THIS DESIGN IS BASED ON THE GEOTECHNICAL REPORT OF THE SAME NAME AND DATE ALSO DONE BY OTHERS. THE FOUNDATION FOR THIS TOWER MUST BE CONSTRUCTED PER SAID FOUNDATION DESIGN.

GROUNDING GENERAL NOTES:

- ALL DETAILS ARE SHOWN DIAGRAMMATICALLY, ACTUAL GROUNDING INSTALLATION AND CONSTRUCTION MAY VARY DUE TO SITE SPECIFIC CONDITIONS.
- ALL EXTERIOR GROUNDING AND TOP OF GROUNDING RODS SHALL BE BURIED TO A MINIMUM DEPTH OF 4'-0" BELOW FINISHED GRADE. GROUNDING RODS SHALL BE COPPER CLAD STEEL 3/4" DIAMETER x 10 FEET LONG UNLESS OTHERWISE NOTED WITH TOP OF THE ROD BURIED 48 INCHES MINIMUM BELOW FINISH GRADE. GROUND RODS SHALL BE EXOTHERMICALLY WELDED TO UNDERGROUND GROUNDING LOOP.
- ALL GROUNDING CONDUCTORS SHALL BE SOFT-DRAWN BARE TINNED COPPER, UNLESS OTHERWISE NOTED.
- GROUND SYSTEM MUST BE TESTED AND SHALL HAVE A RESISTANCE OF 5 OHMS OR LESS. CONTRACTOR SHALL SUBMIT AN INDEPENDENT "FALL POTENTIAL" TESTING REPORT. GROUND RING RESISTANCE SHALL NOT EXCEED 5.0 OHM. CONTRACTOR TO VERIFY WITH INDIVIDUAL CELL SITE REPRESENTATIVE PRESENT.
- NOTIFY CELL SITE CONSTRUCTION MANAGER IF THERE ARE ANY DIFFICULTIES INSTALLING THE GROUNDING SYSTEM DUE TO SITE/SOIL CONDITIONS.
- ALL UNDERGROUND GROUNDING CONNECTORS ARE TO BE CADWELD ALL ABOVE GRADE GROUNDING SHALL BE CADWELD OR MECHANICAL AS SPECIFIED ON THE DRAWINGS.
- CONTRACTOR SHALL HAND-DIG IN AREAS AROUND EXISTING UTILITIES.
- CHEMICAL GROUNDS SHALL BE XIT WHEN REQUIRED, MANUFACTURED BY LYNCOLE INDUSTRIES.
- GROUNDS SHALL BE INSTALLED A MINIMUM OF 2'-0" FROM SHELTER, AND TOWER FOUNDATION.
- ALL UNDERGROUND CONDUCTORS SHALL BE #4/0 AWG FOR THE PROPERTY MAIN LOOP AND #2 AWG TO INDIVIDUAL CELL SITE, (EQUIPMENT ROOM) TINNED STRANDED AND SOLID COPPER WIRES RESPECTIVELY, BURIED 48 INCHES MINIMUM BELOW FINISHED GRADE AND MUST BE EXOTHERMICALLY WELDED.
- ALL ABOVE GROUND CONNECTIONS SHALL BE CADWELDED UNLESS OTHERWISE NOTED. CRIMP CONNECTORS SHALL NOT BE USED ON SOLID CONDUCTORS. CADWELD MUST BE USED FOR FENCE CONNECTION.
- WHERE GROUND CONNECTIONS ARE MADE THE CONTACT POINTS SHALL BE THOROUGHLY CLEANED AND MADE FREE OF FOREIGN MATERIAL SUCH AS PAINT AND CORROSION TO ENSURE ADEQUATE BOND.
- FOR CONNECTION TO ALUMINUM FASCIA AND ALUMINUM GRAVEL GUARD, ALUMINUM CONNECTORS SHALL BE USED WITH APPROVED BIMETALLIC CONNECTORS BETWEEN ALUMINUM GRAVEL AND COPPER. ALL ALUMINUM CONDUCTORS SHALL BE TWO SIZES GREATER THAN THE SPECIFIED COPPER SIZES. AN ANTI-OXIDATION COMPOUND SHALL BE USED.
- GROUNDING CONDUCTOR SHALL NOT PASS THROUGH METAL CONDUIT. ALL #4/0, #2/0 AND #2 TINNED COPPER WIRES SHALL BE IN 1 1/4", 1" AND 3/4" PVC RESPECTIVELY, UNLESS OTHERWISE NOTED.
- ALL GROUNDING CONNECTIONS TO THE GROUND BAR OR GROUND PLATE, INTAKE AND EXHAUST LOUVERS, A/C UNIT AND CABLE TRAY BRIDGE SHALL BE MADE WITH DOUBLE HOLE HYDRAULICALLY INDENTED STAINLESS STEEL LUGS.
- GROUND CONNECTIONS TO ANTENNA MAST SHALL BE MADE WITH HEAVY DUTY GROUND CLAMPS SIMILAR TO BURNDY OR APPROVED EQUAL.
- CABLE TRAY BRIDGE SHALL BE GROUNDED WITH #2 AWG AND GROUNDED CONNECTOR SHALL BE SIMILAR TO TYPE KC-22 BY BURNDY OR APPROVED EQUAL.
- ALL EXTERIOR GROUND WIRE SHALL BE COPPER, INSULATED TYPE XHHW COLOR CODED GREEN.

CONCRETE AND REINFORCING STEEL NOTES

- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 336, ASTM A184, ASTM A185 AND THE DESIGN AND CONSTRUCTION SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS, UNLESS OTHERWISE NOTED.
- REINFORCING STEEL SHALL CONFORM TO ASTM A 615, GRADE 60, DEFORMED UNLESS NOTED OTHERWISE. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A 185 WELDED STEEL WIRE FABRIC UNLESS NOTED OTHERWISE. SPLICES SHALL BE CLASS "B" AND ALL HOOKS SHALL BE STANDARD, UNLESS OTHERWISE NOTED.
- THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:
 - CONCRETE CAST AGAINST EARTH.....3 IN.
 - CONCRETE EXPOSED TO EARTH OR WEATHER:
 - #6 AND LARGER.....2 IN.
 - #5 AND SMALLER & WWF.....1 1/2 IN.
 - CONCRETE NOT EXPOSED TO EARTH OR WEATHER OR NOT CAST AGAINST THE GROUND:
 - SLAB AND WALL.....3/4 IN.
 - BEAMS AND COLUMNS.....1 1/2 IN.
- A 1-INCH CHAMFER SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE, UNLESS OTHERWISE NOTED, IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.
- INSTALLATION OF CONCRETE EXPANSION/WEDGE ANCHOR, SHALL BE PER MANUFACTURER'S WRITTEN RECOMMENDED PROCEDURE. THE ANCHOR BOLT, DOWEL OR ROD SHALL CONFORM TO MANUFACTURER'S RECOMMENDATION FOR EMBEDMENT DEPTH OR AS SHOWN ON THE DRAWINGS. NO REBAR SHALL BE CUT WITHOUT PRIOR ENGINEERING APPROVAL WHEN DRILLING HOLES IN CONCRETE. SPECIAL INSPECTIONS, WHEN REQUIRED BY GOVERNING CODES, SHALL BE PERFORMED IN ORDER TO MAINTAIN MANUFACTURER'S MAXIMUM ALLOWABLE LOADS.
- ALL CONCRETE IS TO BE NORMAL DENSITY CONCRETE WITH A MAXIMUM SLUMP OF 4 INCHES. MAXIMUM AGGREGATE SIZE 3/4 INCH. NO ADDITIONAL WATER SHALL BE ADDED TO THE CONCRETE AT THE JOB SITE.
- NO HOLES OR SLEEVES SHALL BE MADE THROUGH CONCRETE WORK OTHER THAN THOSE INDICATED ON THE STRUCTURAL DRAWINGS WITHOUT THE APPROVAL OF THE STRUCTURAL ENGINEER.
- ALL FORMWORK OFFSET TOLERANCES (PER ACI 117) TO BE CLASS A.
- THE FOUNDATION IS DESIGNED FOR A ASSUMED SOIL BEARING OF 3000 PSF. • A DEPTH OF AT LEAST 3.5'. IF DIFFERENT NOTIFY THE ENGINEER OF RECORD.
- TEST CYLINDERS SHALL BE MOLDED AND LABORATORY CURED IN ACCORDANCE WITH ASTM C31. THREE CYLINDERS SHALL BE TAKEN FOR EACH DAYS CONCRETE PLACEMENT. CYLINDERS SHALL BE TESTED IN ACCORDANCE WITH ASTM C39.



**NC18078-S
LAKE WHEELER
RELO**

ZONING DRAWINGS		
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REVIEWED BY: TRK

CHECKED BY: DRM

PROJECT NUMBER: -

JOB NUMBER: 50086091

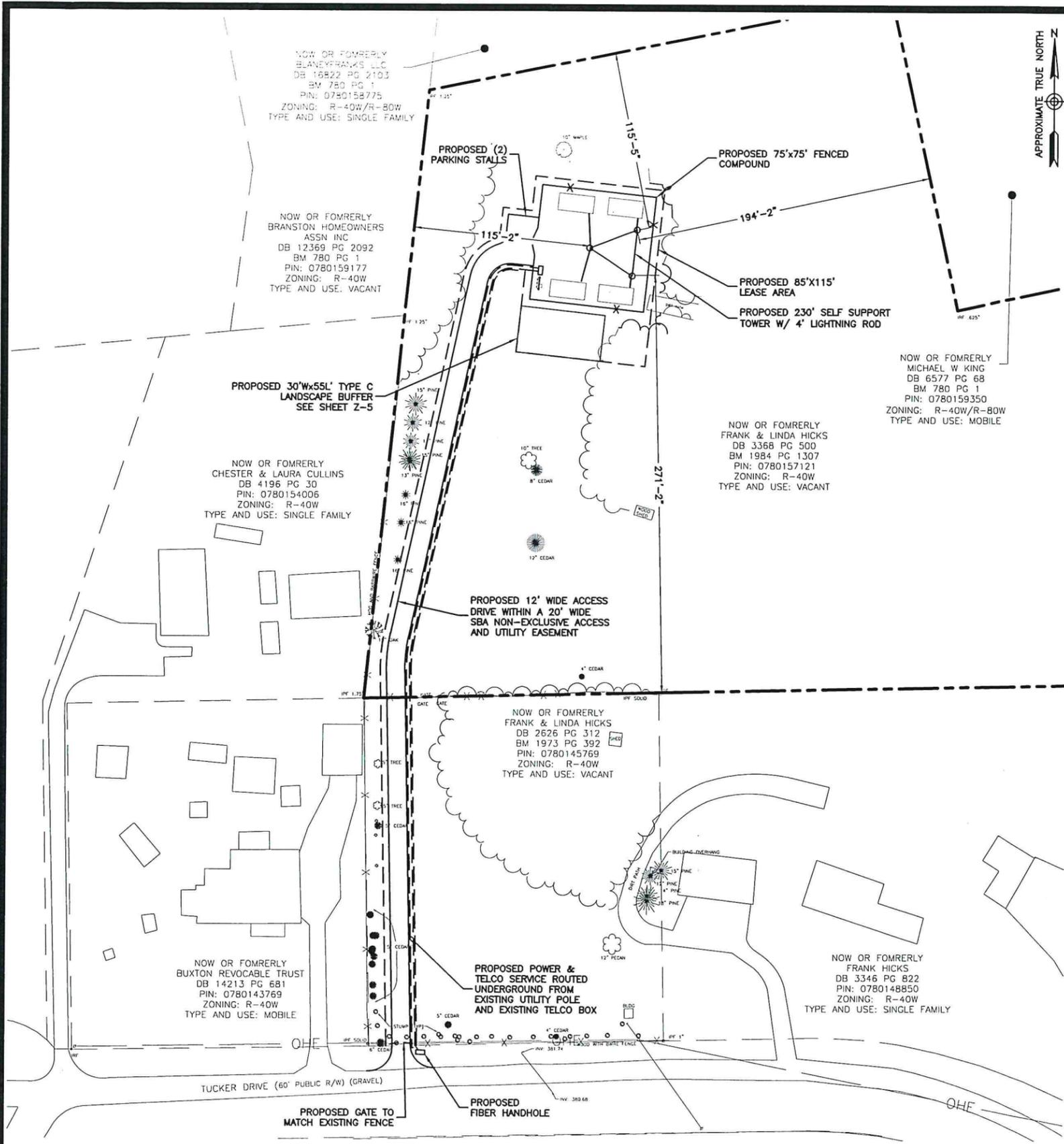
SITE ADDRESS:

7520 BLANEY FRANKS RD
APEX, NC 27539

SHEET TITLE

GENERAL NOTES

SHEET NUMBER



GENERAL NOTES

1. TOWER AND FOUNDATION TO BE DESIGNED BY OTHERS.
2. UNMANNED TELECOMMUNICATIONS FACILITY CONSISTING OF A PROPOSED 230' SELF SUPPORT TOWER WITH A 4' LIGHTNING ROD WITHIN A NEW 75'x75' FENCED COMPOUND, IN ADDITION TO A PROPOSED 560 L.F. 12' WIDE NON-EXCLUSIVE ACCESS DRIVE.
3. THE PROPOSED FACILITY IS UNMANNED AND IS NOT FOR HUMAN HABITATION. (NO HANDICAP ACCESS IS REQUIRED)
4. SITE AND BOUNDARY INFORMATION OBTAINED FROM THE FIELD SURVEY, PREPARED FOR SBA TOWERS, PERFORMED BY DEWBERRY ENGINEERS INC ON FEBRUARY 20, 2018.
5. NO NOISE, SMOKE, DUST, VAPORS OR ODOR WILL RESULT FROM THIS PROPOSAL.
6. EXTERIOR SIGNS ARE NOT PROPOSED EXCEPT AS REQUIRED BY THE FCC.
7. NO WATER, GAS, OR SEWER SERVICE WILL BE PROVIDED TO THE DEVELOPMENT SITE.
8. PROPOSED SITE TO HAVE THE EXISTING VEGETATION AROUND SITE TO BE PRESERVED TO THE MAXIMUM EXTENT POSSIBLE.
9. TOWER WILL NOT BE LIT UNLESS REQUIRED BY THE FAA.
10. ALL CONSTRUCTION FOR SITE IMPROVEMENTS SHALL CONFORM TO APPLICABLE SPECIFICATIONS, STANDARDS, AND REQUIREMENTS OF THE GOVERNMENTAL OR UTILITY AUTHORITIES HAVING JURISDICTION.
11. IF NECESSARY, RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
12. EROSION CONTROL MEASURES SHALL BE IN CONFORMANCE WITH THE LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL.
13. CONTRACTOR SHALL CONTACT THE NORTH CAROLINA ONE CALL SYSTEM PRIOR TO CONSTRUCTION @ 1-800-632-4949.
14. ALL CONSTRUCTION AND DESIGN FOR THE PROPOSED ANTENNA MOUNTS SHALL CONFORM IN ACCORDANCE WITH THE CURRENT STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWERS AND ANTENNA SUPPORTING STRUCTURES (TIA-222-G) REVISED, JANUARY 2006.
15. POWER TO THE FACILITY WILL BE MONITORED BY A SEPARATE METER.
16. SUBCONTRACTOR TO VERIFY ANTENNA ELEVATION AND AZIMUTH WITH RF ENGINEERING PRIOR TO INSTALLATION.
17. SUBCONTRACTOR SHALL LOCATE ALL UTILITIES PRIOR TO EXCAVATING.
18. SUBCONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS & INSPECTIONS REQUIRED FOR CONSTRUCTION.
19. SUBCONTRACTOR SHALL DETERMINE EXACT ROUTE OF ANY UNDERGROUND CONDUIT, IF REQUIRED.
20. DRIVEWAY PERMIT IS NOT REQUIRED.
21. THIS PROJECT WILL NOT REQUIRE STREETS OR PROPERTY TO BE DEDICATED FOR PUBLIC USE.
22. THIS PROJECT WILL NOT REQUIRE PERMANENT MONUMENTS.
23. THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY ACCORDING TO FLOOD INSURANCE RATE MAP 3720078000J, BEARING AN EFFECTIVE DATE OF 5/2/2006.
24. NO HAZARDOUS MATERIALS IN REPORTABLE QUANTITIES WILL BE STORED ON SITE.

PARCEL #0780145769

PARCEL AREA: 43,564 SF
 EXISTING IMPERVIOUS AREA: 110 SF
 PROPOSED IMPERVIOUS AREA: 2,712 SF
 TOTAL IMPERVIOUS AREA: 2,822 SF
 PERCENT IMPERVIOUS: 6.48%

PARCEL #0780157121

PARCEL AREA: 201,264 SF
 EXISTING IMPERVIOUS AREA: 381 SF
 PROPOSED IMPERVIOUS AREA: 9,919 SF
 TOTAL IMPERVIOUS AREA: 10,300 SF
 PERCENT IMPERVIOUS: 5.12%

LEGEND:

- PROPERTY LINE
- - - EXISTING GRAVEL ROAD
- - - EXISTING FENCE
- - - EXISTING TREELINE
- - - EXISTING UTILITY POLE
- - - PROPOSED TREELINE
- - - EXISTING OVERHEAD ELECTRIC
- - - UNDERGROUND ELECTRIC
- - - UNDERGROUND TELCO
- - - PROPOSED LEASE AREA
- - - PROPOSED ACCESS EASEMENT
- - - PROPOSED SOLID-WALL FENCE

SITE PLAN
 SCALE: 1"=80' FOR 11"x17"
 1"=40' FOR 22"x34"
 0' 40' 80'



**NC18078-S
 LAKE WHEELER
 RELO**

ZONING DRAWINGS		
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 APEX, NC 27539**

SHEET TITLE
SITE PLAN
 SHEET NUMBER

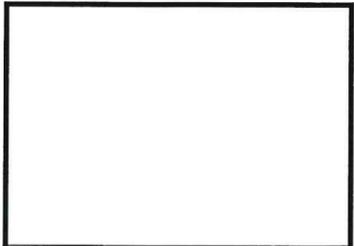


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RELO

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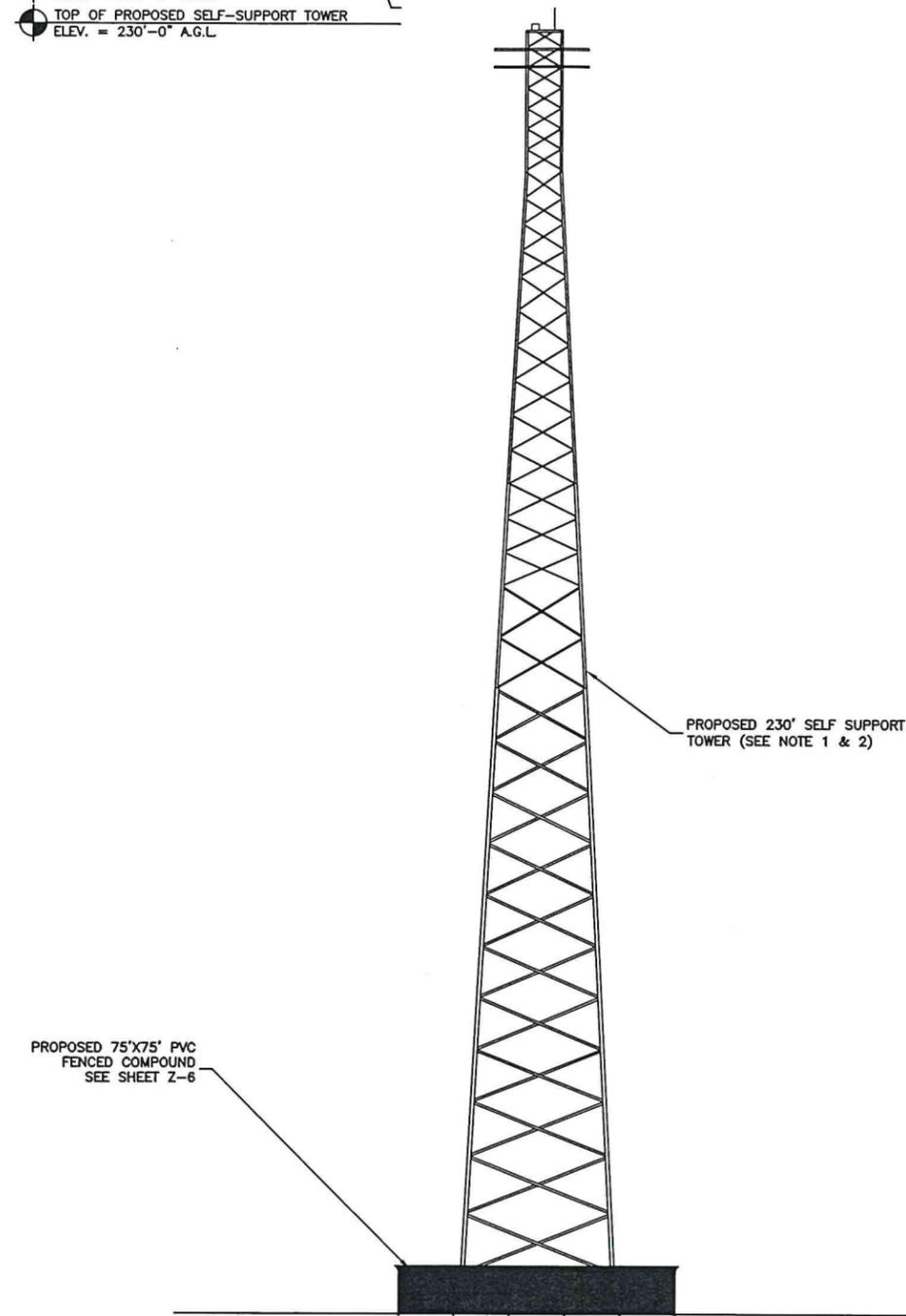
SHEET TITLE

ELEVATION

SHEET NUMBER

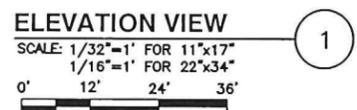
Z-3

OVERALL TOWER HEIGHT
ELEV. = 234'-0" A.G.L.
TOP OF PROPOSED SELF-SUPPORT TOWER
ELEV. = 230'-0" A.G.L.



PROPOSED 230' SELF SUPPORT TOWER (SEE NOTE 1 & 2)

PROPOSED 75'X75' PVC FENCED COMPOUND SEE SHEET Z-6



ELEVATION VIEW

SCALE: 1/32"=1' FOR 11"x17"
1/16"=1' FOR 22"x34"

- GENERAL NOTES
- TOWER DESIGNED BY OTHERS. TOWER MUST BE CONSTRUCTED ACCORDING TO THIS DESIGN.
 - FOUNDATION DESIGNED BY OTHERS. FOUNDATION DESIGN BASED ON GEOTECHNICAL REPORT COMPLETED BY OTHERS. FOUNDATION MUST BE CONSTRUCTED ACCORDING TO THIS DESIGN.



**NC18078-S
LAKE WHEELER
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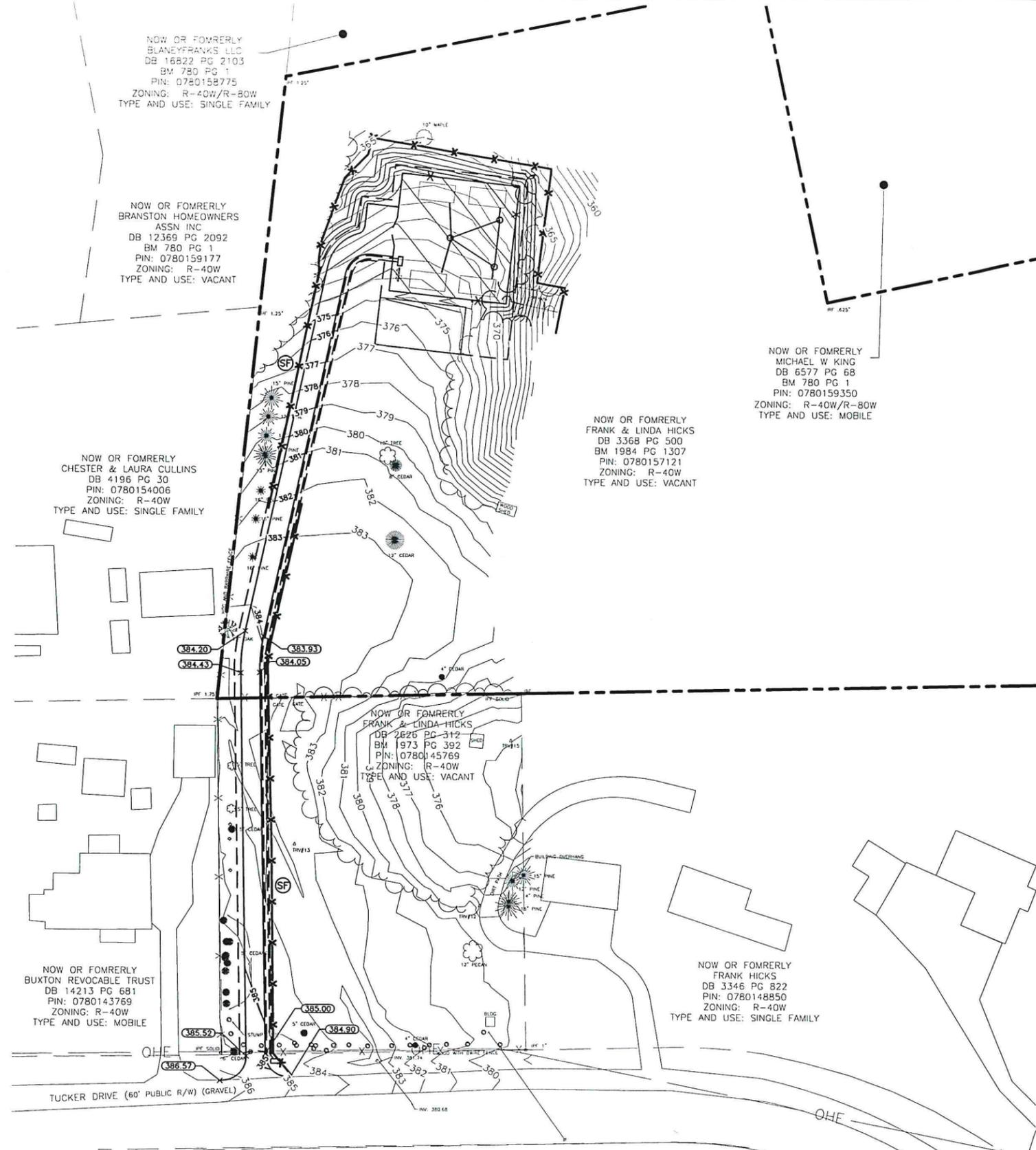
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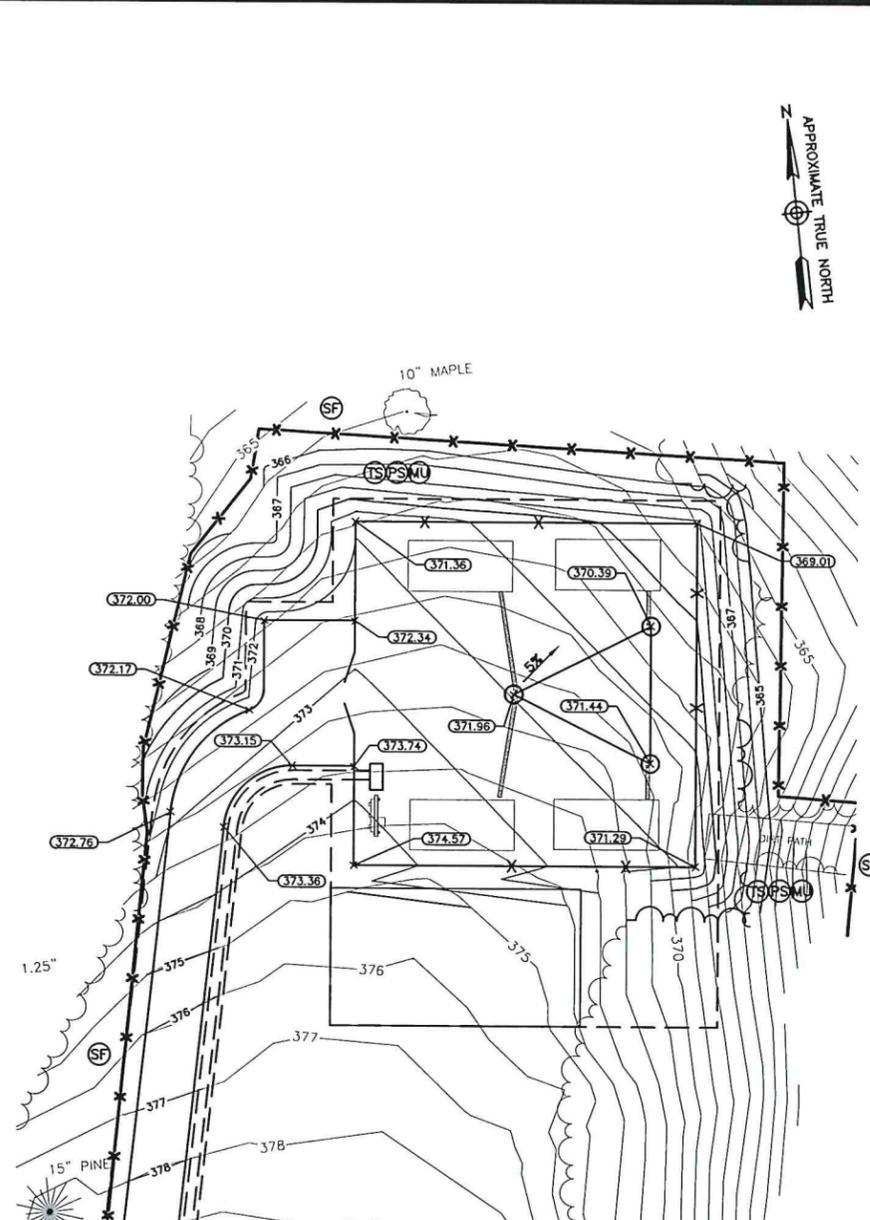
GRADING AND EROSION
CONTROL PLAN

SHEET NUMBER

Z-4



**GRADING AND EROSION
CONTROL PLAN**
SCALE: 1"=80' FOR 11"x17"
1"=40' FOR 22"x34"
0' 40' 80'

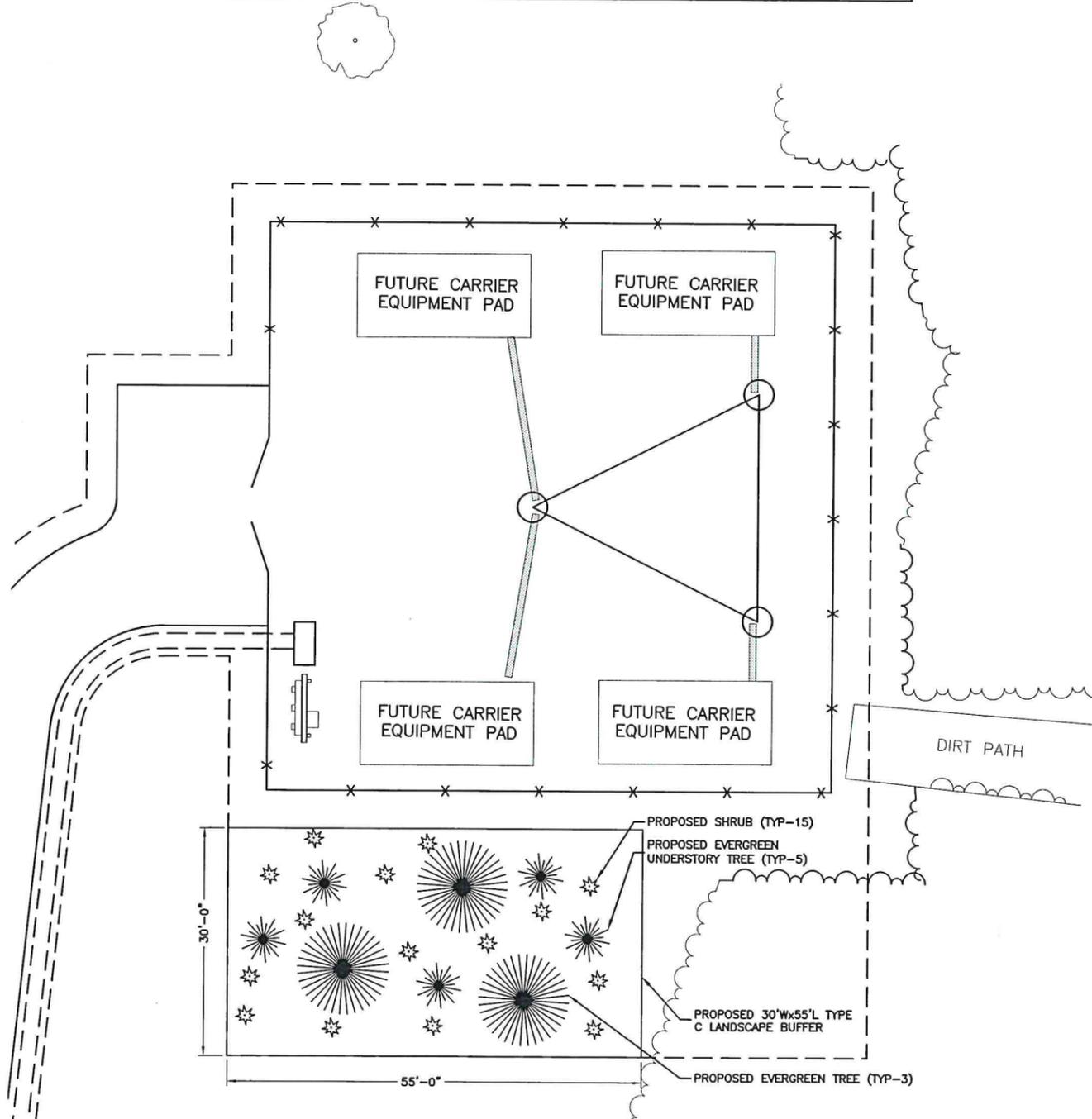


**ENLARGED GRADING
AND EROSION CONTROL
PLAN**
SCALE: 1"=40' FOR 11"x17"
1"=20' FOR 22"x34"
0' 20' 40'

LEGEND:

	PROPERTY LINE
	EXISTING GRAVEL ROAD
	EXISTING FENCE
	EXISTING TREELINE
	EXISTING UTILITY POLE
	PROPOSED TREELINE
	PROPOSED LEASE AREA
	PROPOSED ACCESS EASEMENT
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	SILT FENCE
	TEMPORARY SEEDING
	PERMANENT SEEDING
	MULCHING
	PROPOSED SPOT ELEVATION

TREE CALCULATIONS	
40' TYPE C BUFFER AREA	TYPICAL 40W' X 100L' (4,000 SF) WITH 5 EVERGREEN TREES, 12 EVERGREEN UNDERSTORY TREES, AND 72 SHRUBS
REDUCTION FACTORS	OPAQUE FENCING: 25% BUFFER WIDTH AND 50% SHRUBS
NEW TYPE C BUFFER AREA	40'(0.75)W X 55'L = 30'W X 55'L (1,650 SF)
EVERGREEN TREE REQUIREMENT	5 TREES * (1650 SF/4000 SF) = 2.06 TREES = 3 TREES
EVERGREEN UNDERSTORY TREE REQUIREMENT	12 TREES * (1650 SF/4000 SF) = 4.95 TREES = 5 TREES
SHRUB REQUIREMENT	72(0.5) SHRUBS * (1650 SF/4000 SF) = 14.85 SHRUBS = 15 SHRUBS



LANDSCAPE PLAN
 SCALE: 1"=20' FOR 11"x17"
 1"=10' FOR 22"x34"
 0' 10' 20'

- LEGEND:**
- PROPERTY LINE
 - - - - - EXISTING GRAVEL ROAD
 - - - - - EXISTING FENCE
 - - - - - EXISTING TREELINE
 - - - - - EXISTING UTILITY POLE
 - - - - - PROPOSED TREELINE
 - - - - - UNDERGROUND ELECTRIC
 - - - - - UNDERGROUND TELCO
 - - - - - PROPOSED LEASE AREA
 - - - - - PROPOSED ACCESS EASEMENT
 - ☀ PROPOSED EVERGREEN TREE
 - ☀ PROPOSED EVERGREEN UNDERSTORY TREE
 - ☀ PROPOSED SHRUB

- GENERAL NOTES**
- TOWER AND FOUNDATION TO BE DESIGNED BY OTHERS.
 - UNMANNED TELECOMMUNICATIONS FACILITY CONSISTING OF A PROPOSED 230' SELF SUPPORT TOWER WITH A 4' LIGHTNING ROD WITHIN A NEW 75'x75' FENCED COMPOUND, IN ADDITION TO A PROPOSED 560 L.F. 12' WIDE NON-EXCLUSIVE ACCESS DRIVE.
 - THE PROPOSED FACILITY IS UNMANNED AND IS NOT FOR HUMAN HABITATION. (NO HANDICAP ACCESS IS REQUIRED)
 - SITE AND BOUNDARY INFORMATION OBTAINED FROM THE FIELD SURVEY, PREPARED FOR SBA TOWERS, PERFORMED BY DEWBERRY ENGINEERS INC ON FEBRUARY 20, 2018.
 - NO NOISE, SMOKE, DUST, VAPORS OR ODOR WILL RESULT FROM THIS PROPOSAL.
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 - NO WATER, GAS, OR SEWER SERVICE WILL BE PROVIDED TO THE DEVELOPMENT SITE.
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**NC18078-S
LAKE WHEELER
RELO**

ZONING DRAWINGS

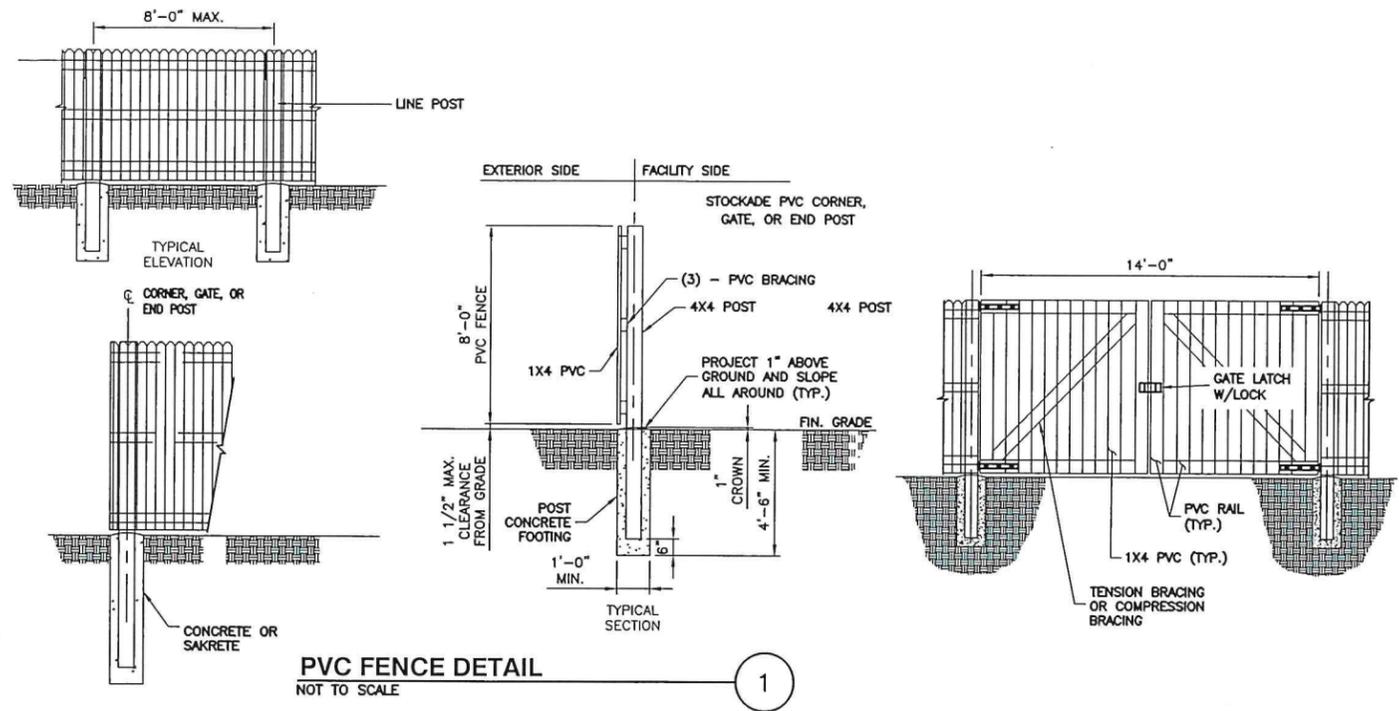
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 PROJECT NUMBER: -
 JOB NUMBER: 50086091
 SITE ADDRESS:
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 APEX, NC 27539
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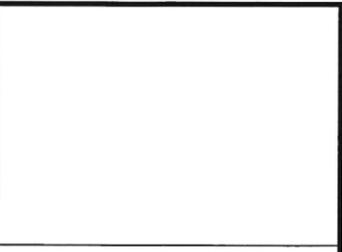


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 LANDSCAPE DETAILS
 SHEET NUMBER